

CURRITUCK STATION  
**PATTERN BOOK**

2019



CURRITUCK STATION



11-04-19 DRAFT

# CURRITUCK STATION PATTERN BOOK

2019

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CURRITUCK STATION

GUIDELINES

2019

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# Section 1

## Introduction to the Pattern Book

### Purpose of the Pattern Book

The Currituck Station District is a 3,000 acre mixed-use district established to provide high quality economic development supported by a pedestrian-friendly environment.

The Currituck Station District Pattern Book is designed to supplement the Currituck County Unified Development Ordinance. The Unified Development Ordinance provides general criteria for the placing of buildings on sites, and their setback, height, and parking requirements. The Pattern Book references these standards and then adds additional guidance specific to developing properties which will establish and reinforce the desired character of the Currituck Station District. This guidance primarily relates to the characteristics of the architecture, open space, and public spaces within the District.

The character of the Currituck Station District has been developed to reflect the architectural patterns that formed the foundation of Currituck County.



*Use of the Pattern Book should result in a place that is comfortable for all residents & visitors for generations to come.*



*Aerial view of the Currituck Station site today  
Satellite Imagery © 2018 Google*

# How to use the Pattern Book

Follow the steps below when developing your project in Currituck Station. Keep in mind that this book is a description of typical patterns of design, it should not be used as a “how-to” manual for developing architecture. It is intended to provide guidance and ideas to help each new building complement the rest of the development.

## Step 1: Find your Sub-District

Find the section of the Pattern Book that relates to the sub-district in which you are building. See the map on page 6 to determine the appropriate sub-district.

## Step 2: Find your building use

Each sub-district section is broken down into sub-sections describing the different building uses allowed in that sub-district. Find the one that relates to the type of building that you are designing.

## Step 3: Choose a building size and orientation

The pattern book addresses buildings based on their size and orientation to the street. The size and orientation of the building establish a basic form, called the building mass.

## Step 4: Understand the details

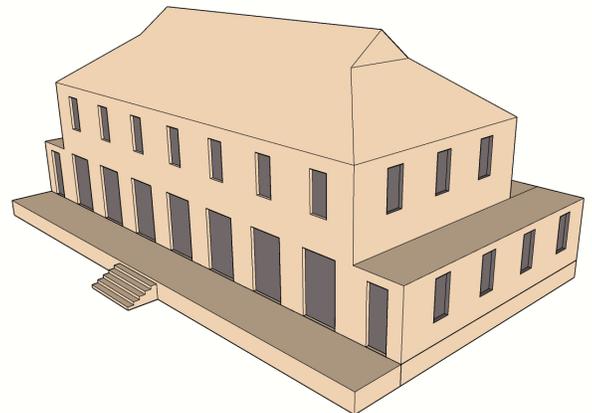
Details like roof shape, window placement, shutters and awnings, and railings and columns are what give the building an identity. These are covered in the sub-section on details.

## Step 5: Develop open space and public amenities

A mixed-use development is most successful when there is active public life on the street. Comfortable, functional, and beautiful open spaces encourage people to gather or observe activity. Public amenities encourage people to explore and provide for various needs such as bike storage and hydration.

## Step 6: Develop the Public Right-of-Way

Pedestrian paths and appropriately sized and configured streets are critical to the walkable nature of the Currituck Station District. Use the appropriate street sections to lay out the development.



## Section 2

# The architectural patterns of Currituck

### Residential and Small Commercial Buildings

Currituck has a strong tradition of highly functional, yet beautiful architecture that makes the most of simple forms and small embellishments.

Pitched roofs and deep porches are found on buildings of all scales and uses. Porch overhangs are typically deep enough to require separate support posts which typically feature a small brace or embellishment where they connect to the beam. The small size of these posts coupled with the repetitive, small braces contribute to the sturdy, but visually delicate appearance of typical Currituck architecture.



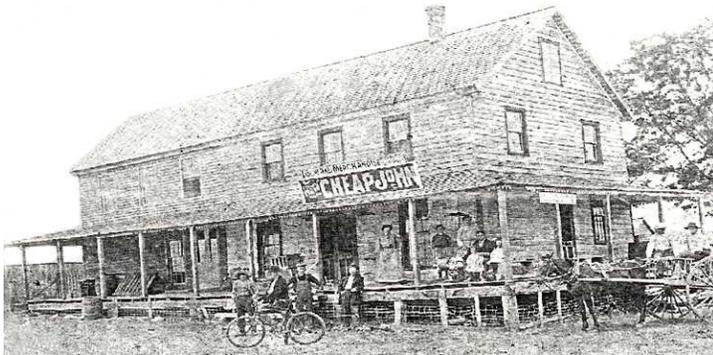
*Vernacular porch with decorative brackets and trim*



*Pea Island Station, Dare County, NC*



*Caffey's Inlet Station, Dare County, NC*



*Cheap John's Store, Currituck County, NC*



*The Hitching Post, Currituck County, NC*

Currituck's Main Street-type streets have typically been filled in over a period of time with residences being used for, or becoming, businesses and dedicated commercial buildings filling in between. This pattern of development leads to a varied street frontage with buildings of several scales adjacent to one another.



*Courthouse Road, Currituck, NC*



*Creekmore Brother's Store, Currituck County, NC*

## **Large Commercial and Institutional Buildings**

Large buildings in Currituck traditionally have 2 to 3 stories with a large gabled or hipped roof, multiple roof dormers, sheltered entries, and gabled masses breaking up long facades.



*Moyock High School, Moyock, NC*



*The Whalehead Club, Currituck County, NC*

# Section 3

## Guiding principles

### The Currituck Station District and Subdistricts

The purpose of the Currituck Station District is to accommodate a high-quality mixed-use development supported by a pedestrian-friendly environment. The standards have been developed to provide a mix of uses and densities needed to sustain the mixed-use development.



## The Currituck Station Transect



### Center Station

The Center Station sub-district is intended to be the center of the Currituck Station District and is designed to support the primary economic and social components of the District by providing an integrated mix of uses in a downtown-oriented setting including retail, convenience, entertainment, civic, and public uses with supporting residential attached or on upper stories.

### Charter

The Charter sub-district is intended to provide a more conventional development pattern that reinforces the walkable nature of Center Station with interconnected sidewalks and multi use paths. The vertical mixing of residential developments with office and retail is encouraged. Horizontal mixing of stand-alone nonresidential development providing well-integrated uses, access and circulation, and compatible design that supports the adjacent neighborhood-scale residential development.

### Cypress

The Cypress sub-district is primarily residential in nature. However, limited non-residential uses including neighborhood-serving office and commercial uses are permitted.

### Junction and Newtown

The Junction and Newtown sub-districts are intended to support the District through redevelopment opportunities. Care should be given to ensure compatibility of new development with the existing.

### Crossroads

The Crossroads sub-district is intended to provide for industrial and job-producing non-residential developments. Uses in the sub-district should be designed to provide buffers and, where necessary, additional mitigation techniques to protect the adjacent residential and environmentally sensitive areas.

### Moyock Run

The Moyock Run sub-district is intended to provide centralized governmental and public oriented uses including, but not limited to schools, parks, utilities, transportation, regional facilities, environmental, and mitigation areas.

### Oak Trail

The Oak Trail sub-district is intended to reflect those areas generally identified as environmentally sensitive including, but not limited to, native habitats, wetlands, riparian buffers, and floodplain. Low density residential uses and low impact recreational uses may be permitted upon determination of the environmental area limits.

## Section 4

The following pages provide examples of building massing and architectural styles that are compatible with the Currituck Station design intent. Designers are not expected to copy these, only to use them as a guide towards their own compatible designs.

# Center Station Development Principles

The Center Station sub-district forms the mixed-use downtown core of the Currituck Station District. The downtown pattern of design includes a grid of streets supporting pedestrian activities, on-street parallel or angled parking, wide sidewalks with consistent tree canopy, outdoor café seating, and public spaces such as plazas and parks.

To maintain the walkable, pedestrian-oriented nature of Center Station, off-street parking lots are located behind buildings or vegetated screens, towards the interior of the lot. Development is designed to support vibrant, walkable streets by placing buildings close to the street with active and public uses on the ground floor and pedestrian entrances accessed from the street. An interconnected network of sidewalks, multi-use paths, public spaces, and parks provide access to the mix of uses found throughout the sub-district.

Center Station is the gateway to Currituck Station. In order to present a welcoming and high-quality face to the public, development along Caratoke Highway requires additional attention to detail through architectural and aesthetic treatments, integrated signage, landscape and buffer enhancements, and interconnected developments.

The Currituck Unified Development Ordinance allows for, and provides specific guidance on the development of, more generic suburban-style buildings than the examples in this Pattern Book.



### Dimensions

The allowable lot dimensions for the Center Station sub-district are designated in the Currituck Unified Development Ordinance.

### Allowable uses

This is an abbreviated table of uses for reference only. For a current and complete table of uses, see the Unified Development Ordinance

Residential Uses	Commercial Uses	Industrial Uses	Civic Uses
Mixed with Commercial	Retail	None	Office
Multifamily	Convenience		Recreation
Single Family (Attached)	Entertainment		Community
	Office		Government Facilities
	Health Care		

# Center Station Commercial & Mixed Use Buildings

The commercial and mixed-use development in Center Station is the heart of the Currituck Station community. These streets will be lined with lively businesses, shops, offices, and restaurants. Residential and office uses above the street-level businesses provide an in-place market for the commercial concerns as well as contributing to a round-the-clock level of activity.

All of the buildings have a pedestrian-scale facade on the primary street that welcomes people in, allows them to window shop or observe the activity within, and encourages people to sit and stay a while.



*Courthouse Road, Currituck County, NC*

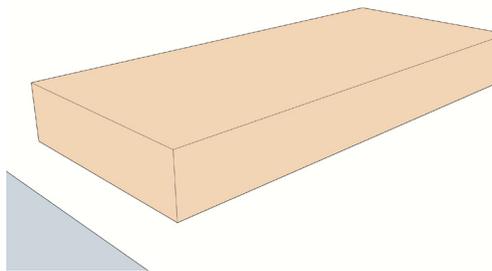


# Center Station Commercial & Mixed Use

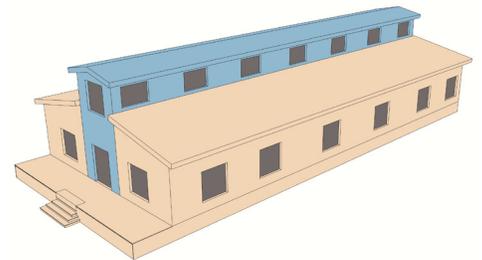
## Small 2-story building

### Clerestory building

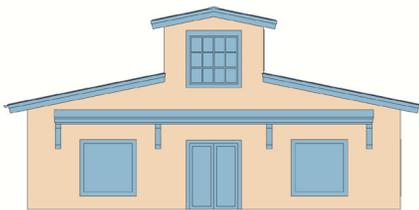
1. Use features such as clerestories to give a small building a 2-story appearance. The second floor may or may not be occupied.
2. Simple details give the building a pedestrian-friendly facade while keeping costs low.



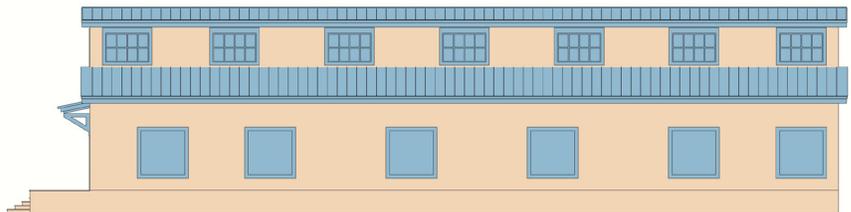
*A 1-story building program in a rectangular footprint. A 1-story building can only be accommodated if the facade is at least 20' tall giving a 2-story appearance.*



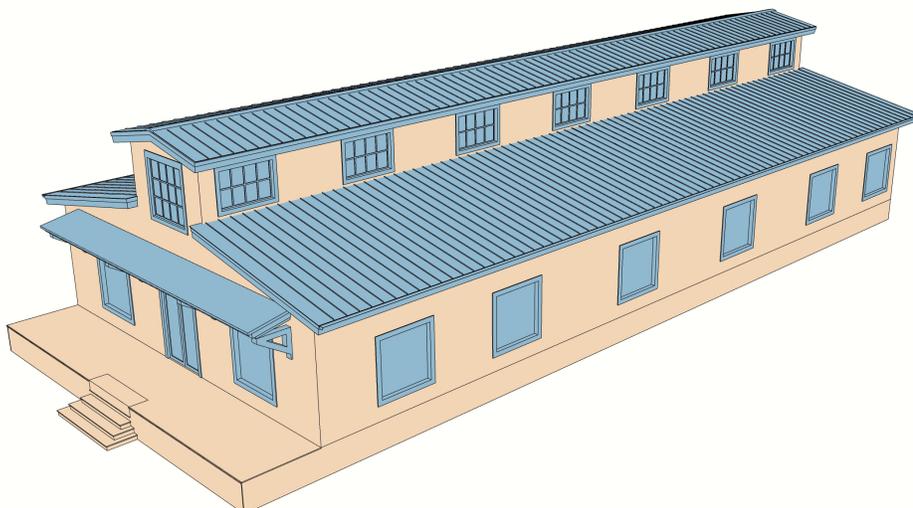
*Adding a clerestory gives the building a usable 2nd story for offices or studio apartments. Alternatively, the clerestory can be used to provide additional natural light and an airy feeling to the 1st floor space while meeting the 20' building height requirement.*



*A front facade with doors and generous windows centered on bays is functional and pedestrian friendly. The width of the clerestory section can be adjusted to suit the building program needs.*



*Ground floor side windows near the street are necessary to maintain visual permeability of the street frontage. Side windows towards the rear of the building are optional, but encouraged.*



*A small, simple fixed awning with support brackets and simple trim profiles add detail to the building and give it a coastal appearance.*

# Center Station Commercial & Mixed Use

## 1. Roof

Standing seam metal due to low pitch

## 2. Trim

Simple profile, multi-layered

## 3. Cladding

Board & batten, cedar shake, or cementitious clapboard

## 4. Clerestory windows

Divided lite, clear glass windows

## 5. Awning

Metal or wood with simple brackets

## 6. Railings

Metal or wood

## 7. Doors

Metal or wood storefront

## 8. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 9. Decking

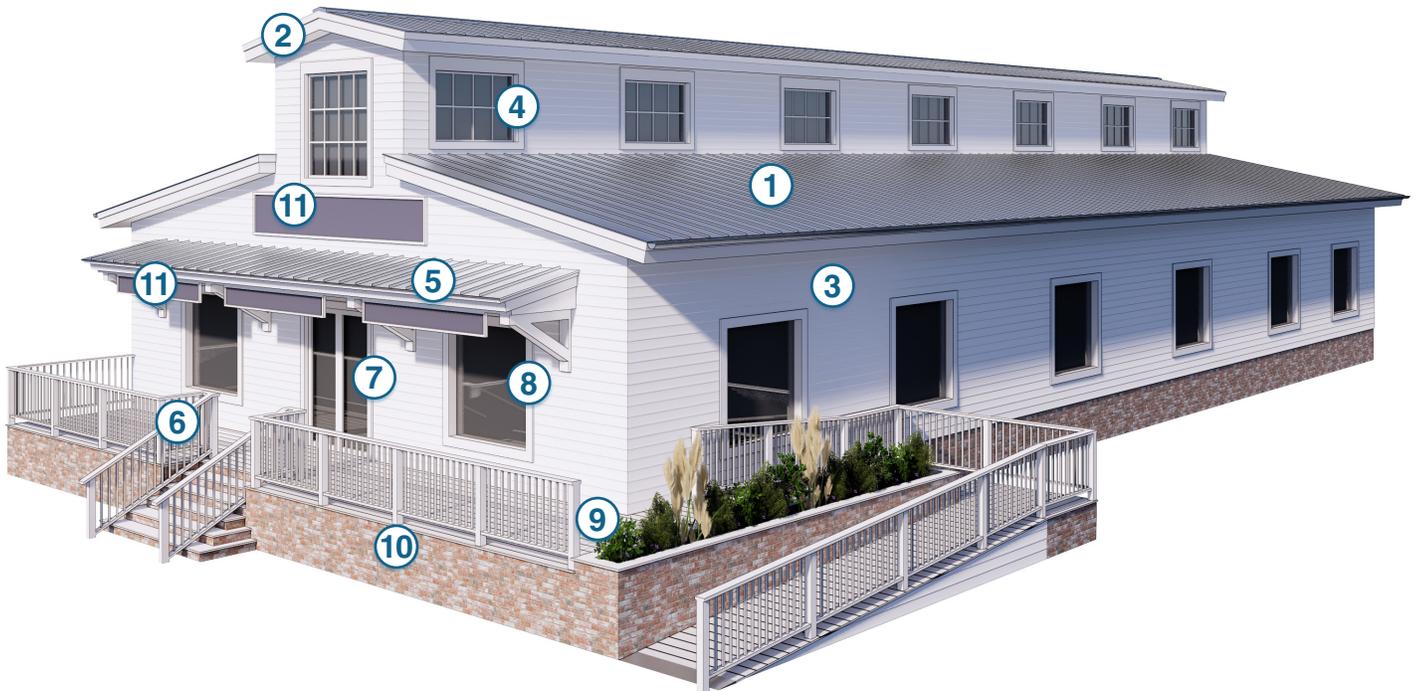
Wood (rot resistant)

## 10. Foundation

Brick, wood slat, cast-in-place concrete

## 11. Sign boards

Wood, metal, or composite with raised perimeter



Local Pie in Bluffton, SC



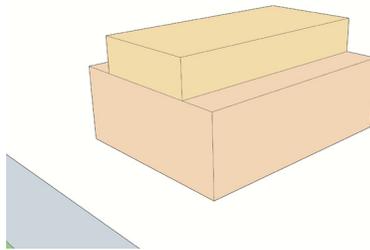
The Hitching Post (The Spry Store) in Currituck, NC

# Center Station Commercial & Mixed Use

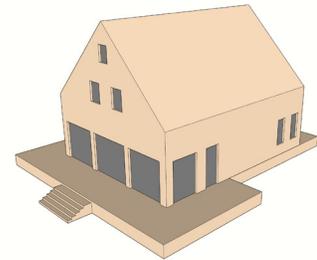
## Small 2-story building

### A-Frame with Porch

1. An iconic building form along the eastern seaboard, the A-frame is easy to construct, weathers storm events, and provides ample floor space while presenting a compact facade to the public.
2. A deep wrap-around porch shades the windows from hot summer sun and makes an inviting place for customers to enjoy.



A 2-story building program in a rectangular footprint.



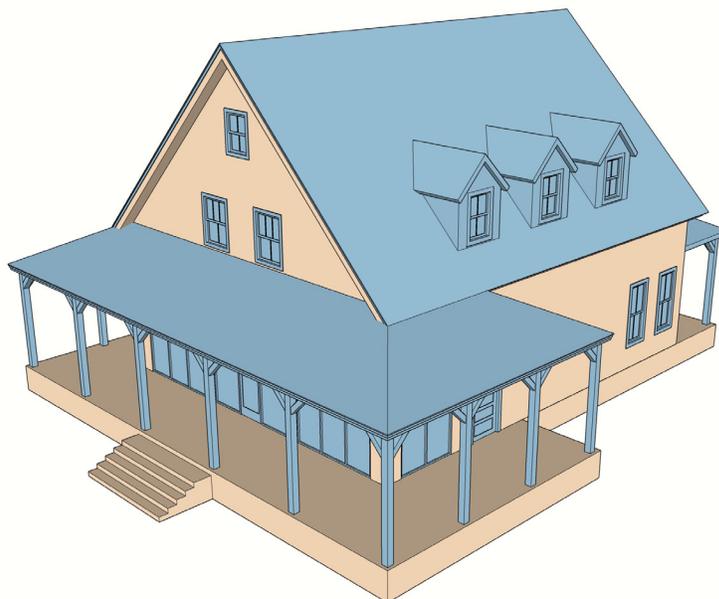
A steeply pitched roof encompasses the entire upper story.



A front facade with storefront glazing and transom windows allows natural light into the lower story space and invites pedestrians in.



Dormers let light into the upper story space and provide additional floor space. If the upper story is to be occupied by a different tenant, or is for a residential use, then a separate side entry can be added.



Straight or braced columns support the deep porch. Dormers can be separate or combined into one large dormer.

# Center Station Commercial & Mixed Use

## 1. Roof

Cedar shingle, architectural shingle, or standing seam metal

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Divided lite, clear glass windows

## 4. Porch roof

Cedar shingle, standing seam metal, or architectural shingle

## 5. Columns and brackets

Painted wood or composite wood

## 6. Ground floor windows

Metal or wood storefront with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

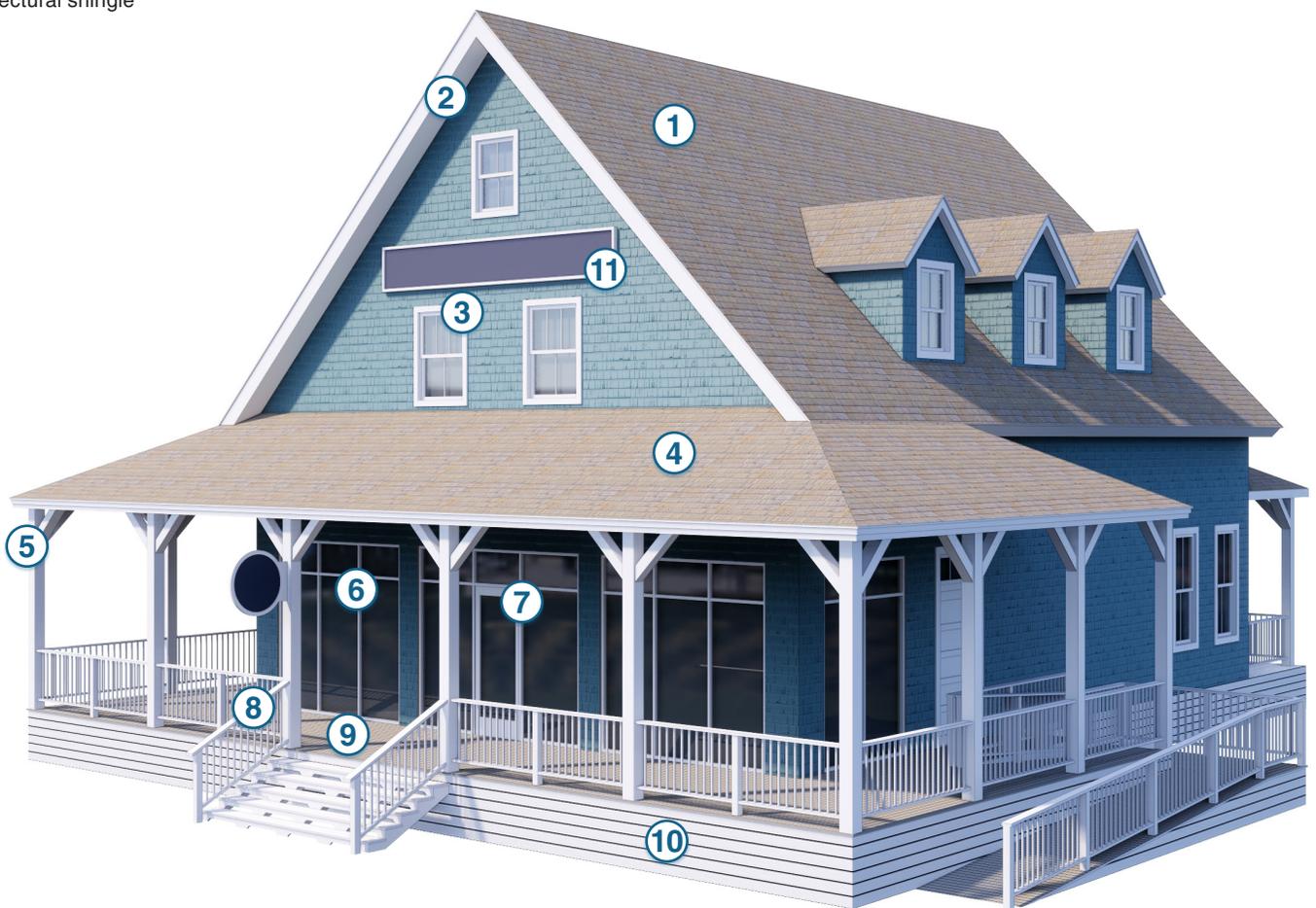
Wood (rot resistant), or composite wood.

## 10. Foundation skirt

Painted wood (rot resistant) or painted PVC

## 11. Sign board

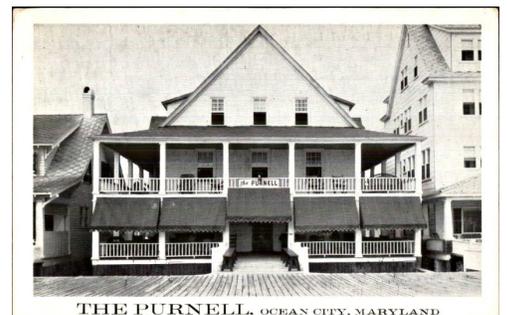
Wood, metal, or composite with raised perimeter



*Caffey's Inlet Lifesaving Station  
in Dare County, NC*



*Seatack Station, Virginia Beach, VA*



*THE PURNELL, OCEAN CITY, MARYLAND*

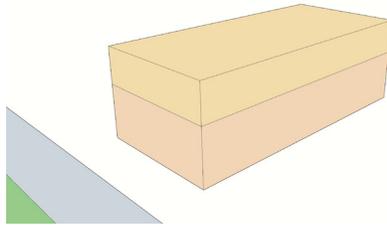
*The Purnell Hotel, Ocean City, MD*

# Center Station Commercial & Mixed Use

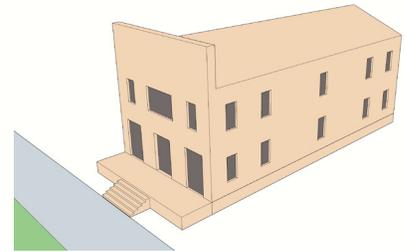
## Medium 3-story building

### Parapet-front building

1. A parapet is used to give a more commercial appearance to a pitched-roof building.
2. The building can be used for a single use, or a vertical mix of uses with offices or residential units on the upper floors.



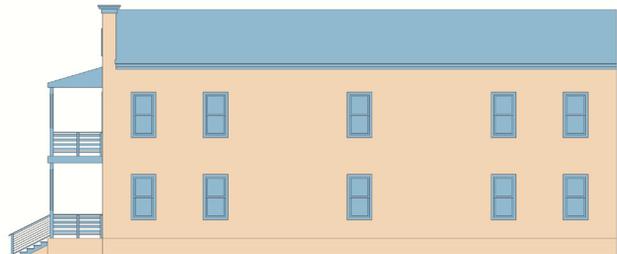
A 2-story building program in a rectangular footprint.



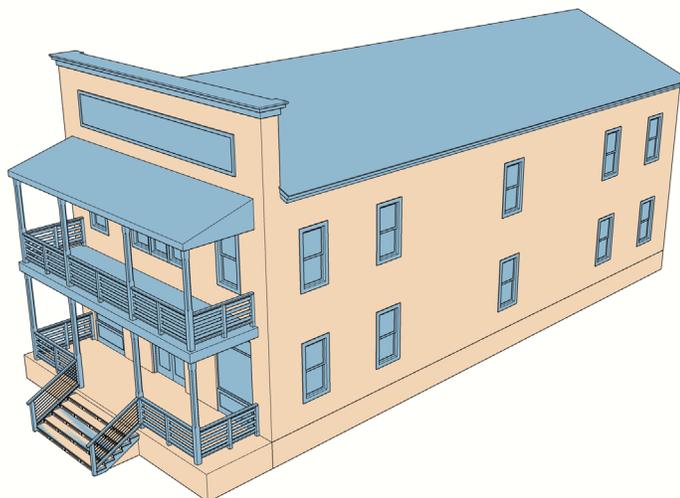
A false front facade makes use of a parapet to make the pitched roof building appear to be a traditional flat roofed commercial building.



A front facade with doors and generous windows centered on bays is functional and pedestrian friendly. Adding a second story porch makes upper floor residential uses more inviting.



Ground floor side windows are necessary to maintain the visual permeability of the street frontage. Side windows towards the rear of the building are optional, but encouraged.



Roof and window types, awnings, trim, and brackets add detail to the building and give it a coastal appearance.

# Center Station Commercial & Mixed Use

## 1. Roof

Standing seam metal, architectural shingle

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Brick, wood or fiber cement clapboard

## 4. Upper story windows

Double hung, divided lite, transparent glass windows

## 5. Porch roof

Match main roof or standing seam metal

## 6. Columns

Square metal or wood

## 7. Doors

Metal or wood storefront with transoms

## 8. Ground floor windows

Metal or wood storefront with transoms

## 9. Railing and stairs

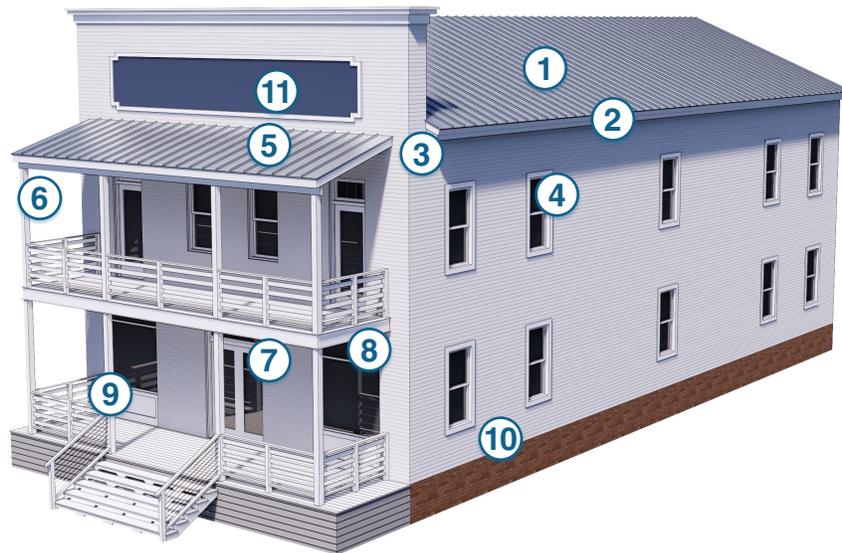
Wood, composite wood, or metal

## 10. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure

## 11. Sign board

Framed wood or wood composite or, optionally, raised brick if on a brick facade

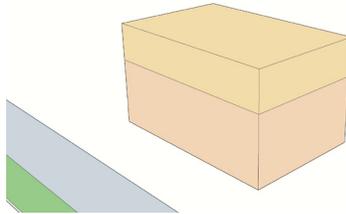


# Center Station Commercial & Mixed Use

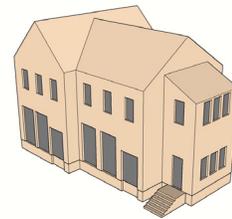
## Medium 2-story building

### L-shaped

1. Use gable ends to break up longer facades and create the appearance of a series of smaller masses.
2. Simple details give the building a pedestrian friendly facade while keeping construction costs low.



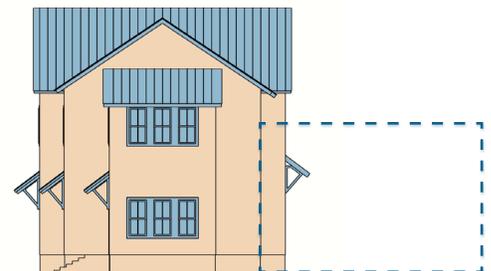
A 2-story building program in a rectangular broadfront footprint.



Adding a gable end breaks up the building facade and provides multiple distinct storefronts.



Storefront windows and doors allow pedestrians to see into the ground floor spaces. A stair and elevator tower on the end of the building gives private access to the upper story if desired.



An optional addition on the rear of the building adds ground floor space.



Awnings with brackets and shutters protect the windows from sun and rain.

# Center Station Commercial & Mixed Use

## 1. Roof

Standing seam metal, cedar shingle, or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or painted PVC

## 3. Cladding

Wood clapboard, cedar shake, or cementitious clapboard, brick

## 4. Upper story windows

Double hung, true or simulated divided lites, clear glass windows

## 5. Shutters

Wood or fiberglass, 1/2 width and full height of window, operable louvered or solid shutters

## 6. Awning

Metal or wood with simple brackets

## 7. Doors

Metal or wood storefront with transoms and clear glass.

## 8. Ground floor windows

Metal or wood storefront with transoms. Wood, metal, or painted PCV paneling

## 9. Foundation

Brick, cast-in-place concrete, or parged CMU

## 10. Residential door

Wood, metal, or fiberglass entry door

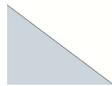
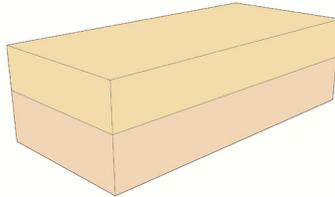


# Center Station Commercial & Mixed Use

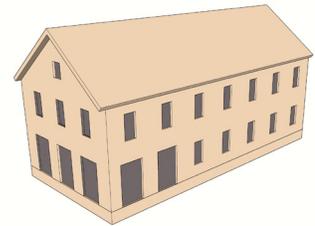
## Medium 2-story building

### Gable-front building

1. A classic and versatile building form lends itself well to a vertical mix of uses.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



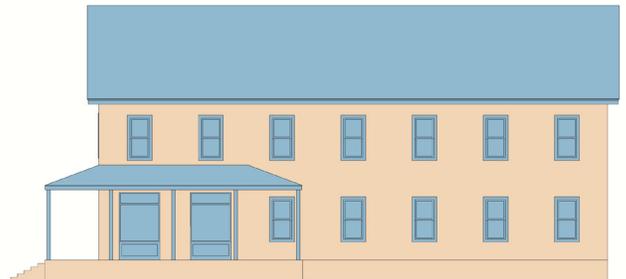
A 2 to 3-story building program in a rectangular footprint.



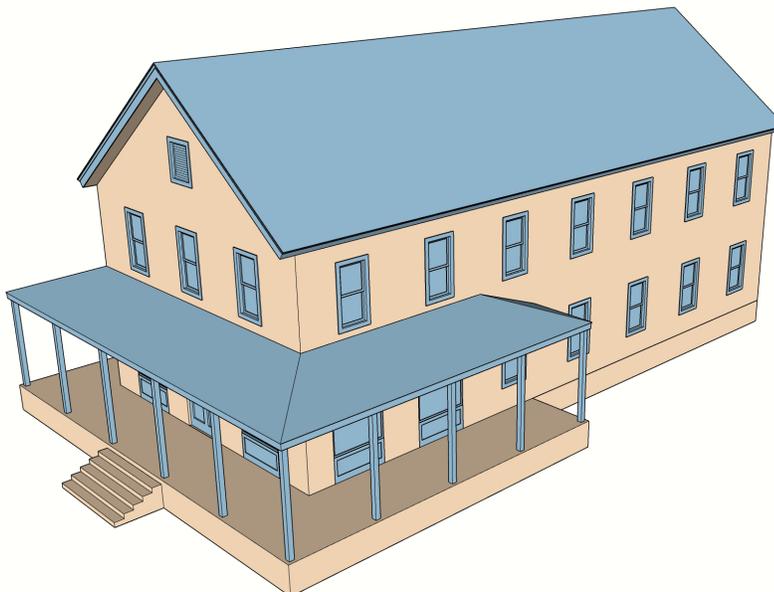
A gable above the upper story makes an easy-to-construct, adaptable, and durable building.



Minimal overhangs are typical, but the eaves can be extended up to 3' or 4' with exposed rafter tails for a more Craftsman appearance.



Evenly spaced side windows on all levels produce usable light throughout the building.



The wraparound porch can be supported by simple square columns or brackets.

# Center Station Commercial & Mixed Use

## 1. Roof

Cedar shingle, standing seam metal, or architectural shingle

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Single or divided lite, clear glass windows

## 4. Porch roof

Standing seam metal, or to match main roof

## 5. Columns and brackets

Painted wood or metal, 4"-8" square or round

## 6. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

Wood (rot resistant) or composite wood

## 10. Foundation skirt

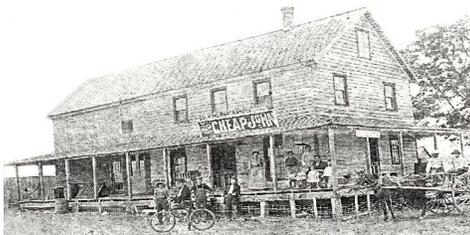
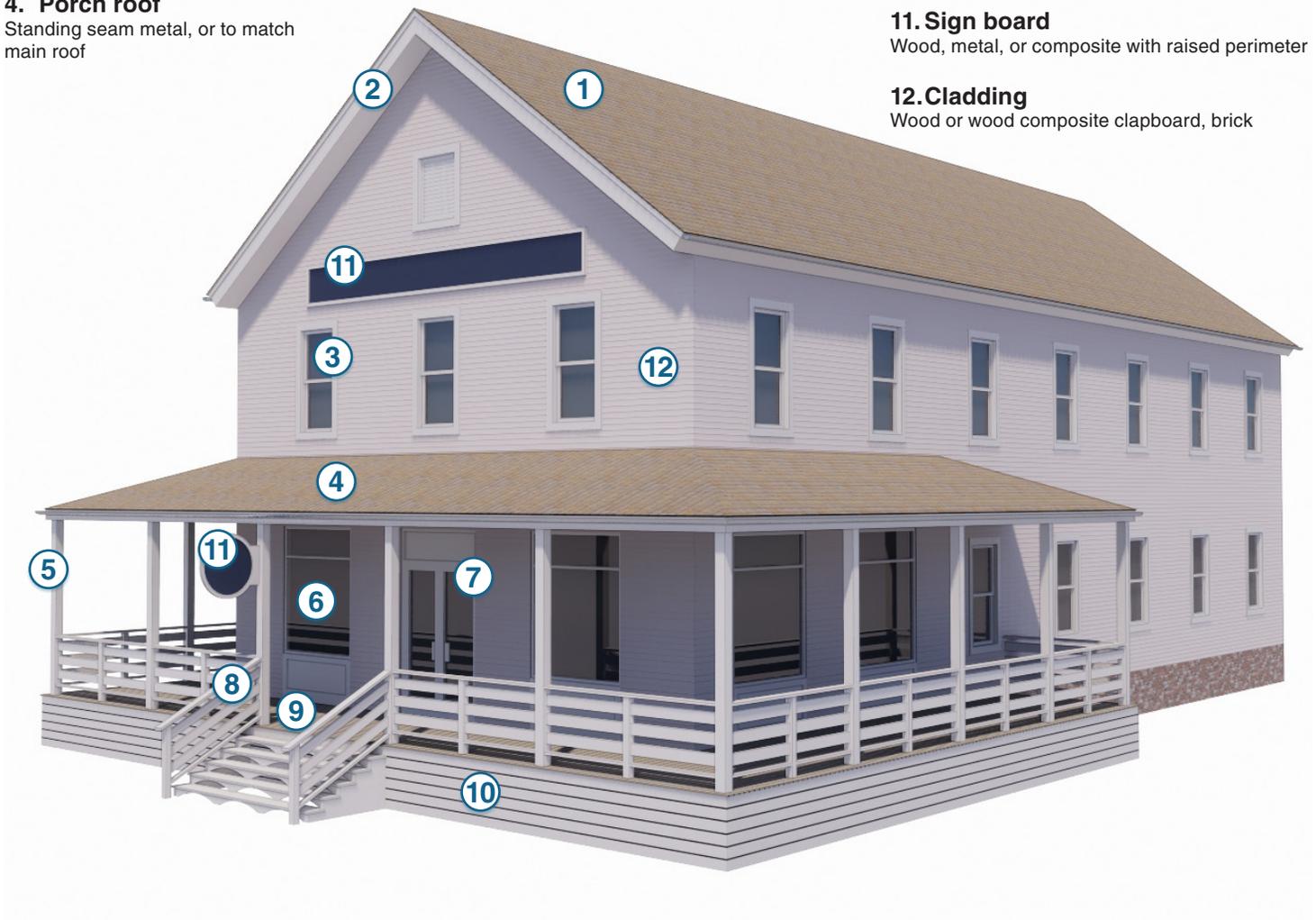
Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

## 11. Sign board

Wood, metal, or composite with raised perimeter

## 12. Cladding

Wood or wood composite clapboard, brick



Cheap John's Store, Currituck County, NC



Creekmore Brothers Store, Currituck County, NC



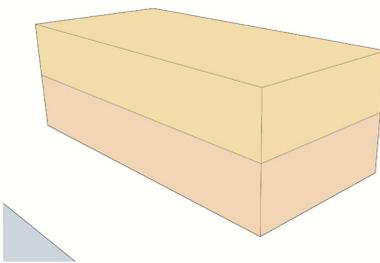
JM Roberts House, Currituck County, NC

# Center Station Commercial & Mixed Use

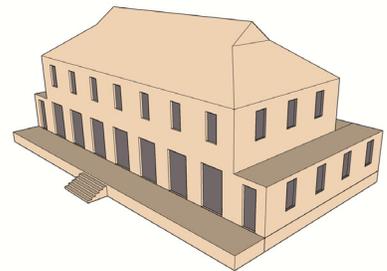
## Medium 2-story building

### Broad-front building

1. Occupy the frontage of a wide site and provide continuous street-level access to multiple tenants.
2. Upper stories can be used for offices or residential and are pulled back from the street.



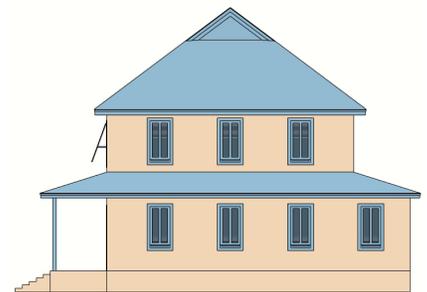
A 2 to 3-story building program in a rectangular broadfront footprint.



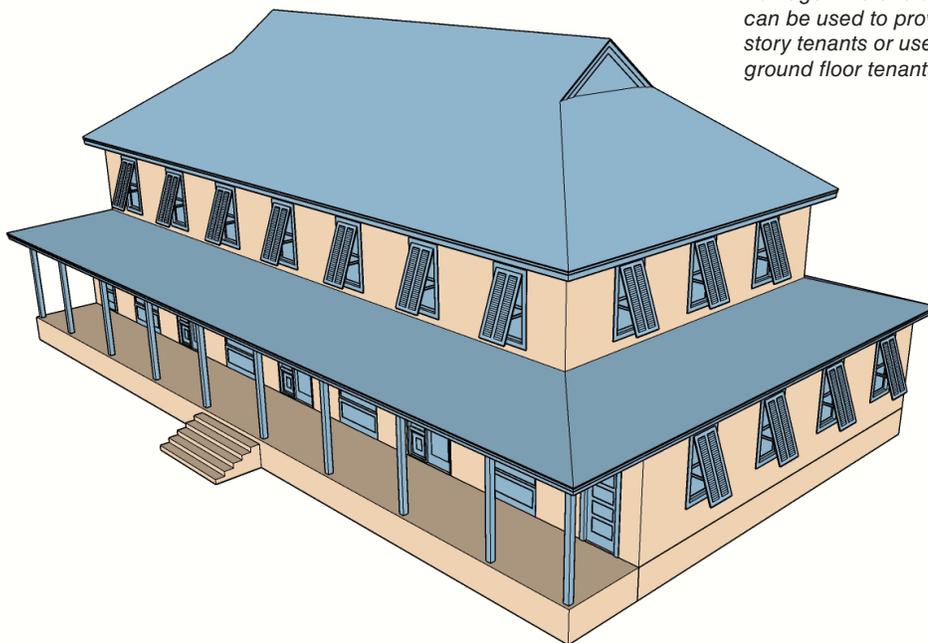
Closely spaced large openings at the ground floor are important to making the long facade feel permeable and welcoming to pedestrians.



A broad front facade allows for more space behind the building to be used for parking and allows for more individual tenants to have street frontage.



Ground floor side windows are necessary to maintain the visual permeability of the street frontage. The enclosed areas under the porch roof can be used to provide building access for upper story tenants or used as enclosed porches for ground floor tenants.



A gabled roof is used here, but gable or hipped roofs would also be appropriate. Bermuda shutters have been used to give the building a coastal appearance.

# Center Station Commercial & Mixed Use

## 1. Roof

Cedar shingle, standing seam metal, or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, cedar shake, or cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows with shutters

## 5. Shutters

Wood, aluminum, or fiberglass Bermuda shutters. full width and length of window

## 6. Porch roof

Match main roof

## 7. Columns

Square metal or wood with beveled corners

## 8. Doors

Metal or wood storefront with transoms

## 9. Ground floor windows

Metal or wood storefront with transoms

## 10. Residential/Upper story door

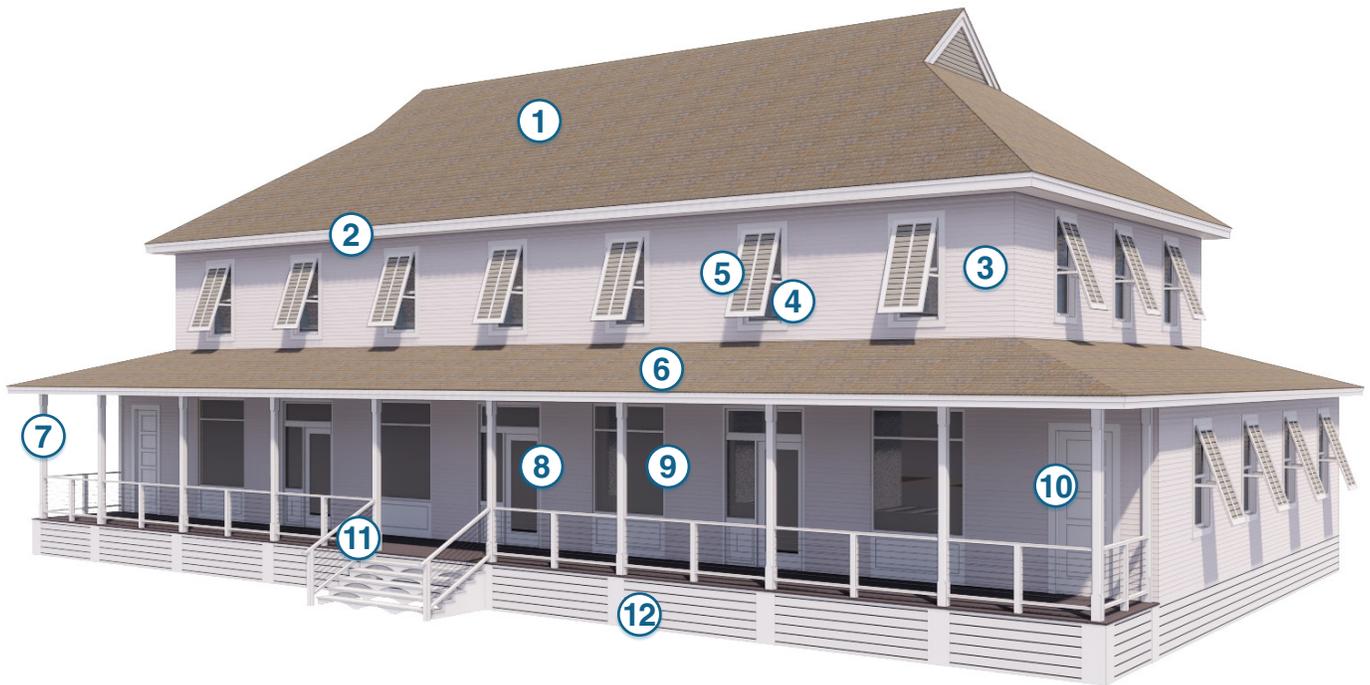
Wood, metal, or fiberglass entry door

## 11. Railing and stairs

Brick, cast-in-place concrete, or parged CMU

## 12. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

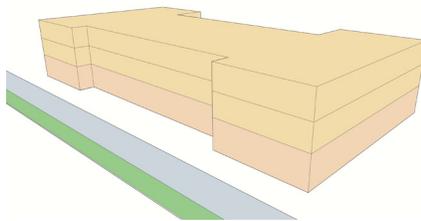


# Center Station Commercial & Mixed Use

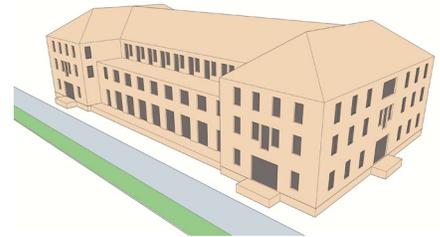
## Large 3-story building

### I-shaped building

1. Multi-tiered porches break up the facade.
2. Repetitive use of residential scale windows and features on upper stories makes a large building feel less imposing.



A 2 to 4-story building program in a rectangular broadfront footprint.



Multi-tiered porches provide building stepbacks and break up the mass of the building. Gables bookend the middle of the building.



A broad facade is broken up by regularly spaced large windows. The scale of the windows and facade treatment decreases at each level, with the smallest and most residential scale features closest to the top.



Ground floor side windows are necessary to maintain the visual permeability of the street frontage. Large buildings should allow entry along the sides as well as the front and back.



Minimal ornament is needed if the windows and other features are scaled appropriately. Dormers break up the large roof expanses and can be used to bring daylight into loft spaces or to ventilate mechanical spaces.

# Center Station Commercial & Mixed Use

## 1. Roof

Cedar shingle or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, cedar shake, or cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows with optional shutters

## 5. Commercial windows

Metal or wood storefront with transoms or double hung, divided lite, transparent glass windows

## 6. Porches

Wood or composite wood deck with wood railings and standing seam metal roof due to low pitch

## 7. Balconies

Wood or composite wood deck with wood railings and standing seam metal roof. Operable out-swing doors with large glazed area

## 8. Columns

Square or round metal, wood, or composite full height columns or with masonry piers where ganged

## 9. Commercial doors

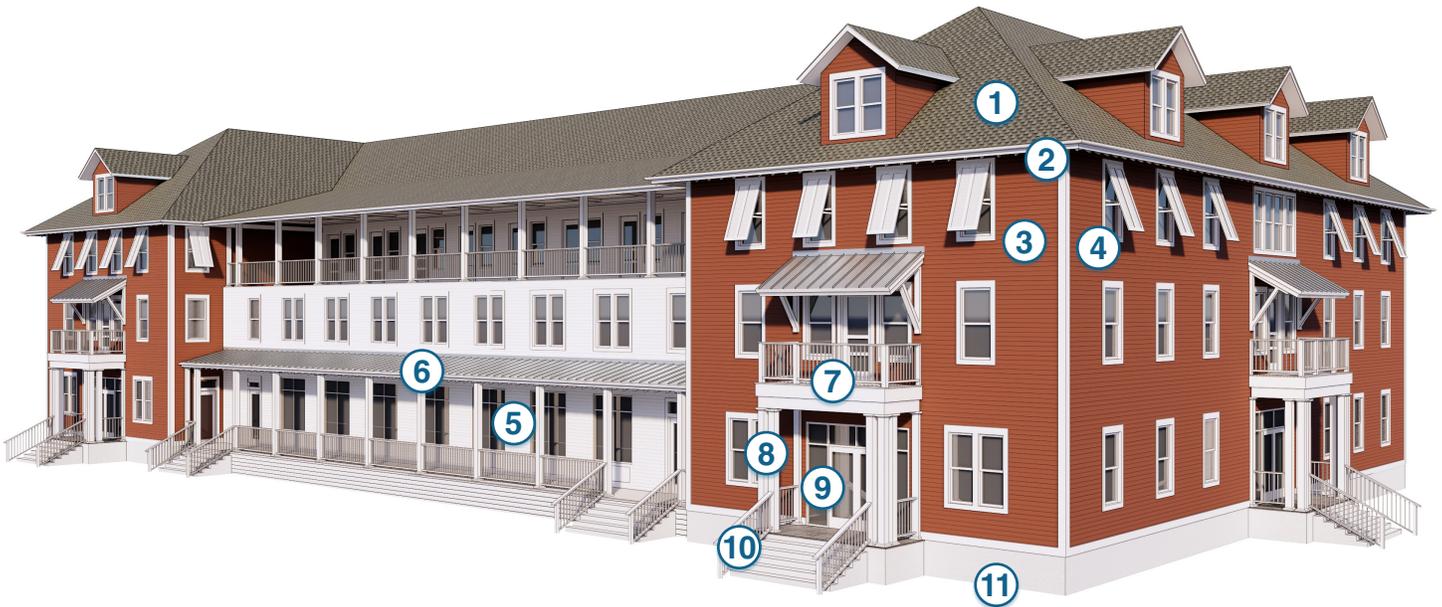
Metal or wood storefront with transoms

## 10. Railing and stairs

Brick, cast-in-place concrete, or parged CMU if set in a masonry foundation. Painted wood (rot resistant) if set in a wood or painted PVC foundation skirt

## 11. Foundation skirt

Brick, cast in place concrete, or parged CMU with options for painted wood (rot resistant) or painted PVC at the porch

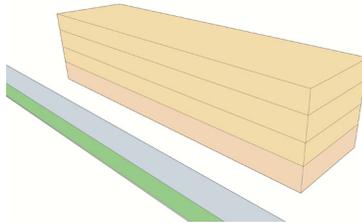


# Center Station Commercial & Mixed Use

## Large 4-story building

### Large broad-front building

1. A very simple footprint allows for efficient construction and use of interior space.
2. Gable ends that break the facade can be used as central entries, or to separate multiple tenants who each have a side or section of the building.



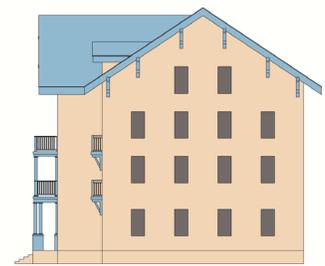
A 2 to 3-story building program in a rectangular broadfront footprint.



Adding a gable end breaks the facade into multiple masses and makes for a clear point of entry.



Ground floor porches flanking the entry provide pedestrian scale spaces.



Side windows are necessary to keep the building from appearing to be monolithic.



Minimal ornament is needed if the windows and other features are scaled appropriately. Dormers break up the large roof expanses and can be used to bring daylight into loft spaces or to ventilate mechanical spaces.

# Center Station Commercial & Mixed Use

## 1. Roof

Cedar shingle or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or PVC and wood or composite brackets

## 3. Cladding

Wood lapped siding, cedar shake, or cementitious lapped siding. Building base should be differentiated with lapped siding/shakes or brick

## 4. Upper story windows

Double hung, divided lite, transparent glass windows with shutters

## 5. Commercial windows

Metal or wood storefront with transoms or double hung, divided lite, transparent glass windows

## 6. Porches

Wood, composite wood, or brick/tile deck with wood railings and standing seam metal roof due to low pitch

## 7. Balconies

Wood or composite wood deck with wood railings. Operable out-swing doors with large glazed area

## 8. Columns

Square or round metal, wood, or composite with masonry piers where ganged

## 9. Commercial doors

Metal or wood storefront with transoms

## 10. Residential doors

Wood, metal, or fiberglass entry door

## 11. Railing and stairs

Brick, cast-in-place concrete, or parged CMU if set in a masonry foundation. Painted wood (rot resistant) if set in a wood or painted PVC foundation skirt

## 12. Foundation skirt

Brick, cast in place concrete, or parged CMU with options for painted wood (rot resistant) or painted PVC at the porch



# Center Station Multifamily Buildings

## Multifamily development

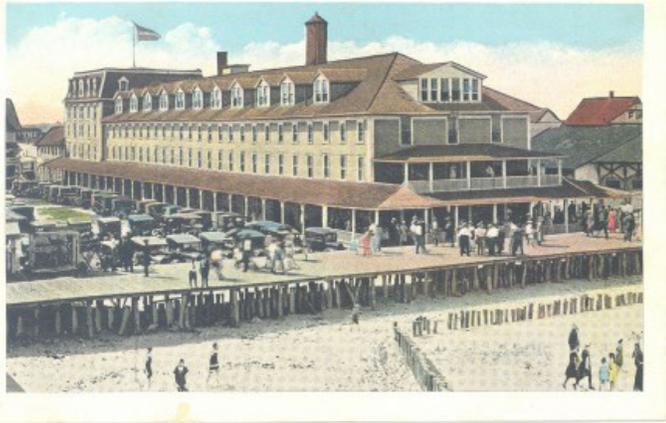
Multifamily development in Currituck Station is broken into two scales for the purposes of this pattern book:

For smaller multifamily developments up to 12 units, stacked urban apartment and mansion apartment buildings are appropriate. These can come in a variety of forms ranging from triplexes to courtyard apartment buildings.

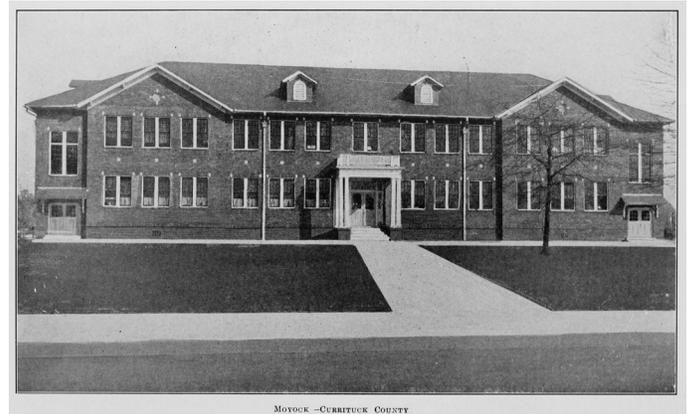
Large scale, high density development should follow the pattern of traditional grand beachfront hotels. These buildings feature continuous porches, which can be interrupted internally to afford some privacy to individual units, delicate columns and railings, and simple roof forms. They frequently employ dormers for additional daylighting of loft spaces or ventilating mechanical spaces, which also serve to break up the mass of the long roof form.



## Center Station Multifamily Buildings



*The old Atlantic Hotel in Ocean City, MD.*



MOYOCK - CURRITUCK COUNTY

*While not a grand hotel, the Moyock High School is a good precedent for large scale multi family buildings in Currituck Station.*



*The First Colony Inn of Nags Head is a great example of a grand hotel-style building of modest scale. The delicate stacked porches and regularly spaced dormers effectively break down the scale of the building while being simple to construct.*



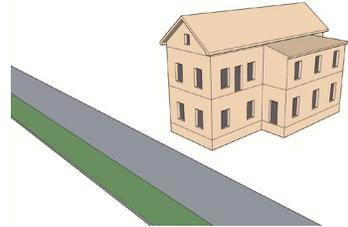
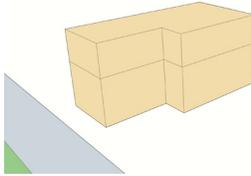
*The Pleasant View Hotel in Nags Head is another example of the grand hotel-style that can be adapted to multifamily housing.*

# Center Station Multifamily Buildings

## Small 2-story building

### Duplex Style Apartment

1. A 2-story long, narrow building with a recessed side extension presents a narrow facade to the street.
2. The recessed entry provides privacy to the residents while giving the street frontage more depth.



*A 2 to 3-story building program in a rectangular footprint.*

*A side entry provides privacy on busy streets.*



*The narrow front facade is easily made pedestrian-friendly with just a few windows.*



*With the entries on the side, they can be less ornate and still be appropriate.*



*The side porches add detail to the front elevation while providing a private outdoor space for residents.*

# Center Station Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows

## 5. Porch roof

Match main roof

## 6. Columns

Square metal or wood with beveled corners

## 7. Doors

Metal or wood storefront with transoms

## 8. Ground floor windows

Metal or wood storefront with transoms

## 9. Building Main Entry

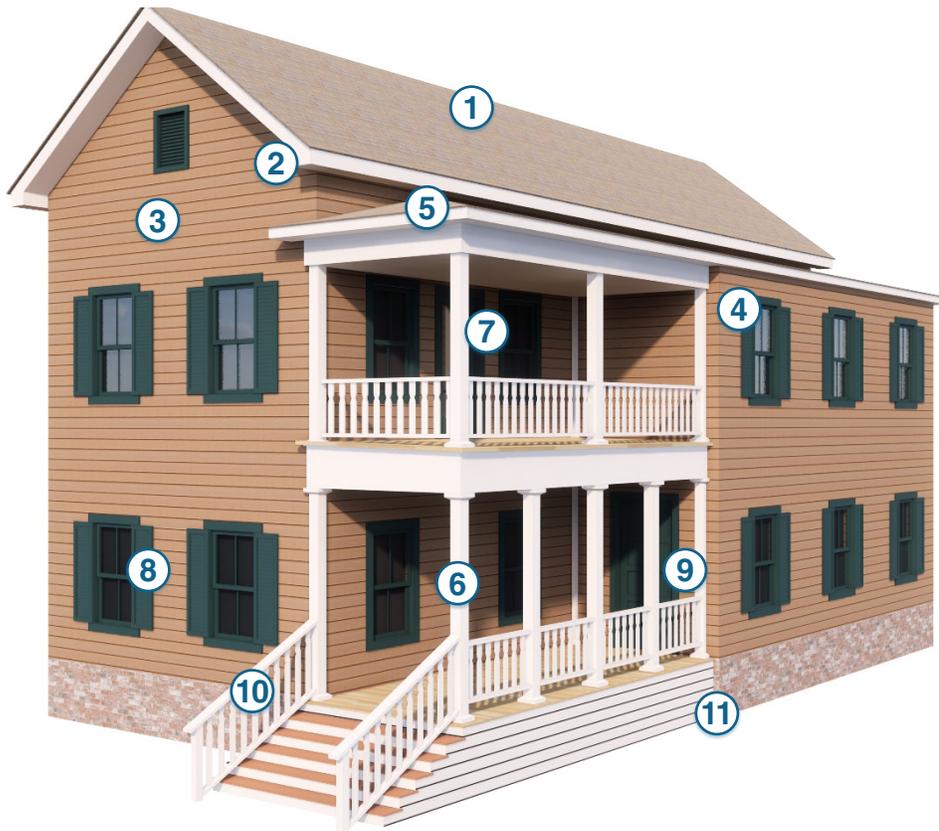
Wood, metal, or fiberglass entry door

## 10. Railings

Brick, cast-in-place concrete, or parged CMU

## 11. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

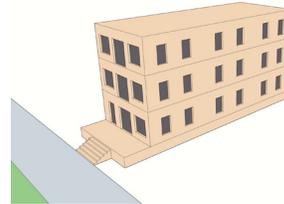
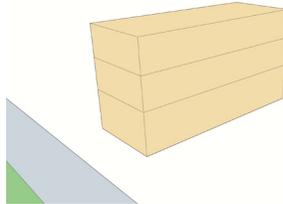


# Center Station Multifamily Buildings

## Small 3-story building

### Triplex Style Apartment

1. A narrow building with 3 stacked apartments.
2. A compact footprint and simple detailing keep construction costs low while providing high density.

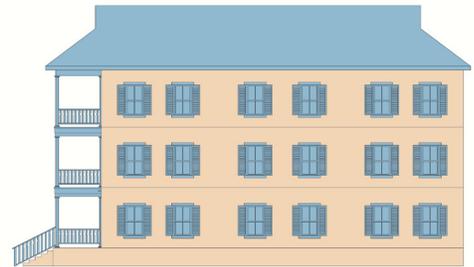


*A 2 to 3-story building program in a rectangular footprint.*

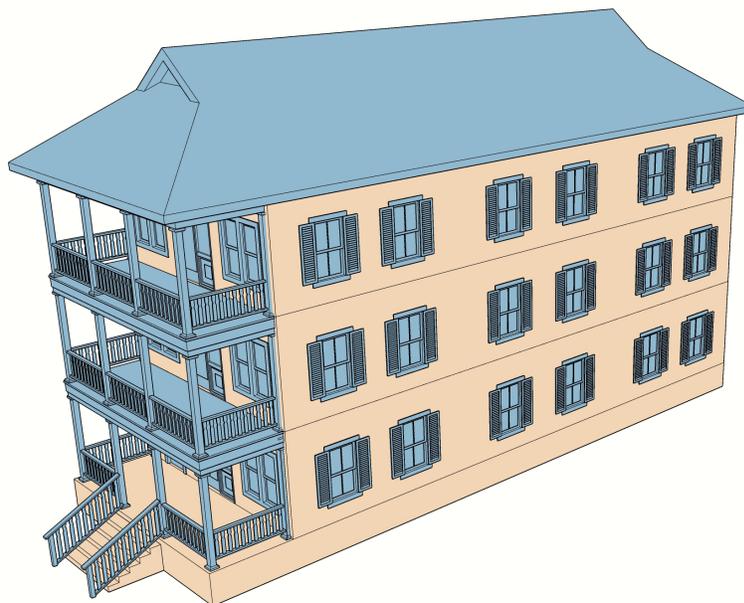
*A side entry provides privacy on busy streets.*



*The front facade is a simple composition with regularly spaced windows and doors.*



*Windows should be placed to daylight and ventilate all interior spaces.*



*A hipped or gabled roof helps to step the mass of the building back.*

# Center Station Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingles

## 2. Trim

Simple profile, wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Windows

Double hung, divided lite, transparent glass windows

## 5. Columns

Square metal or wood with beveled corners

## 6. Building Main Entry

Wood, metal, or fiberglass entry door with transom or sidelites

## 7. Railings

Brick, cast-in-place concrete, or parged CMU

## 8. Foundation skirt

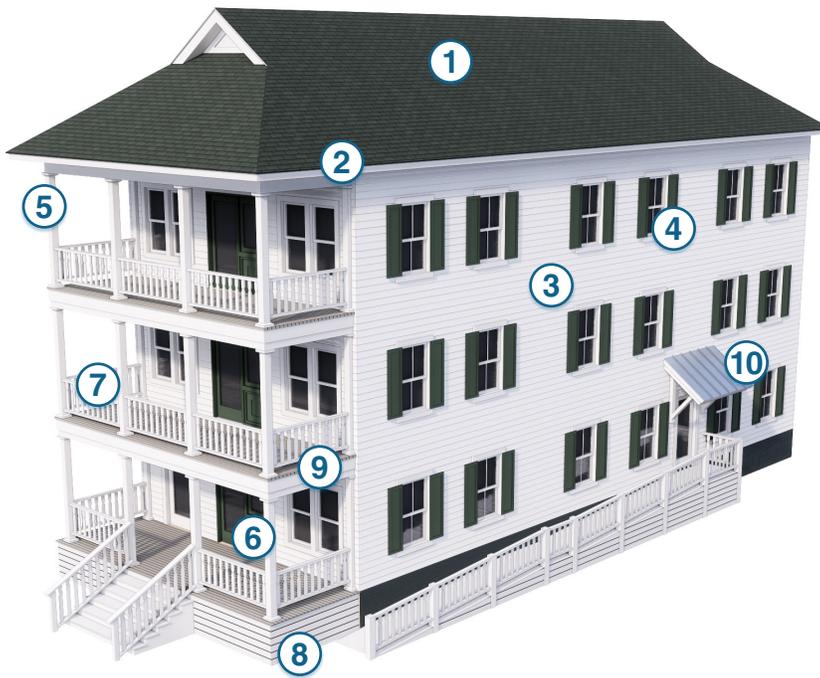
Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure

## 9. Porch Decking

Wood or wood composite deck with finished undersides of porches in wood or vinyl beadboard or cementitious fiber board panels

## 10. Awnings

Match main roof or standing seam metal with wood or metal structure

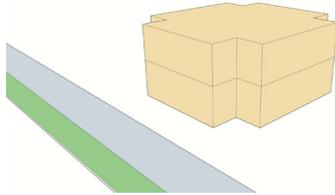


# Center Station Multifamily Buildings

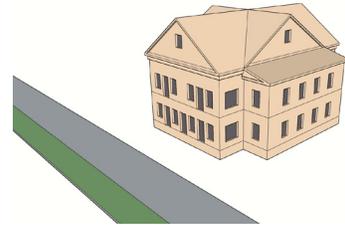
## Medium 2-story building

### Mansion Style Apartment

1. Intended to appear like a large house that has been broken up into smaller dwelling units, the design should be that of a large residence.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



A 2 to 3-story building program in a rectangular or square footprint.



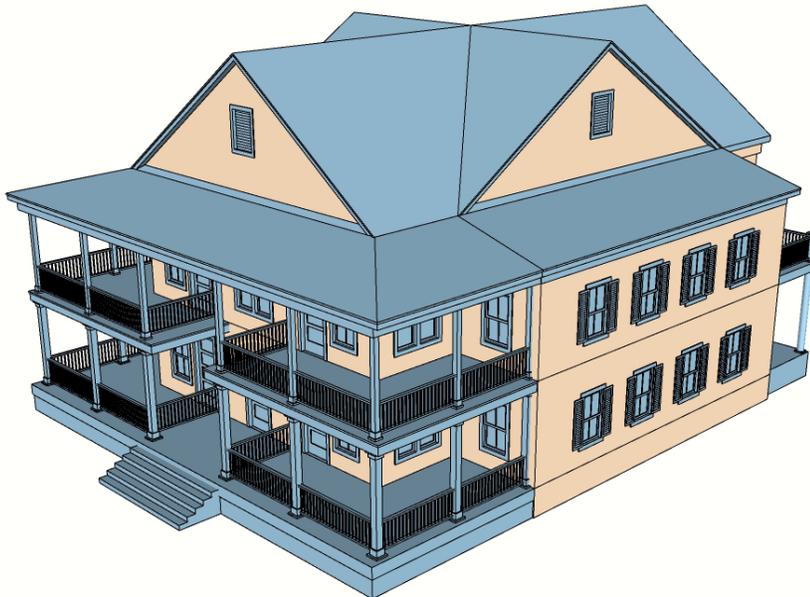
Typical residential windows and details are appropriate.



A front facade with doors and generous windows centered on bays is functional and pedestrian friendly.



The windows should continue around the perimeter of the building to provide daylighting for all of the interior spaces.



Wrap-around porches provide outdoor space for residents and accommodate a coastal lifestyle.

# Center Station Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Windows

Double hung, divided lite, transparent glass windows

## 5. Porch roof

Match main roof

## 6. Columns

Square metal or wood or wood

## 7. Entry Doors

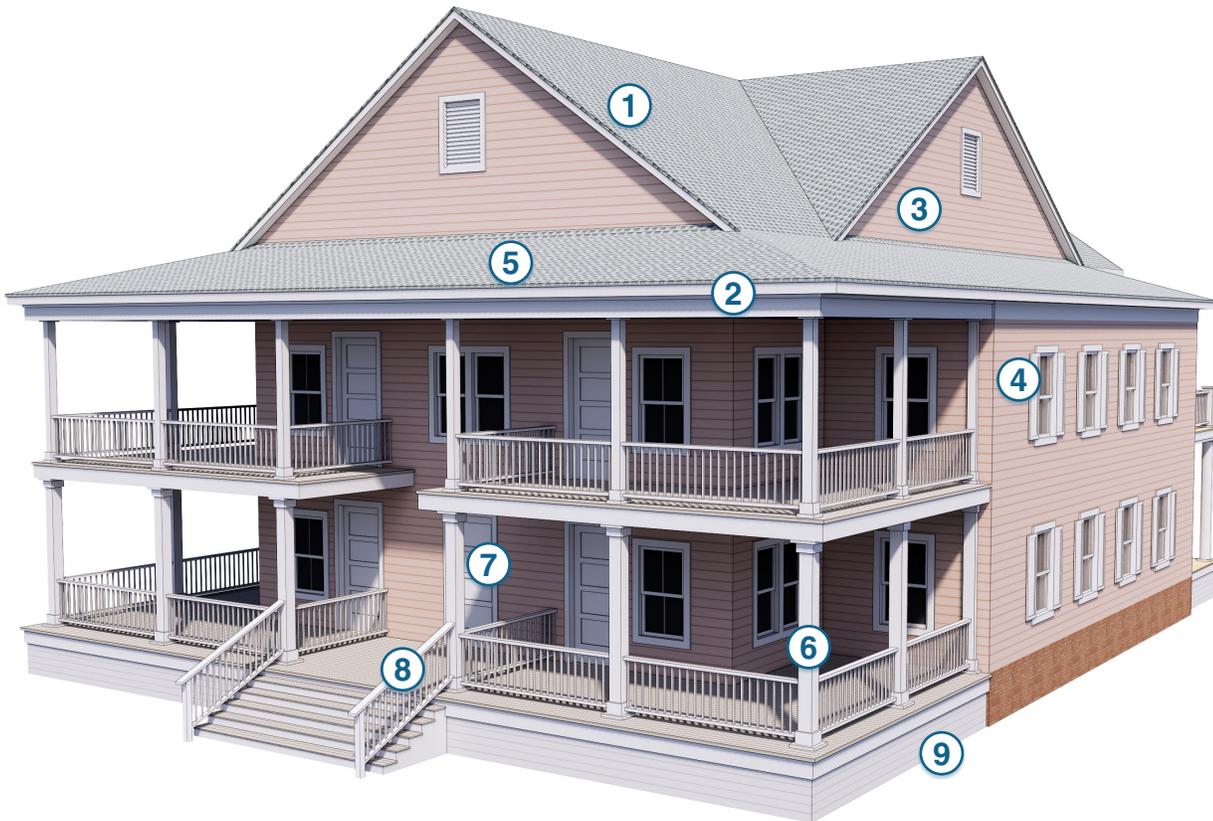
Wood, metal, or fiberglass entry door

## 8. Railings

Wood or wood composite

## 9. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure

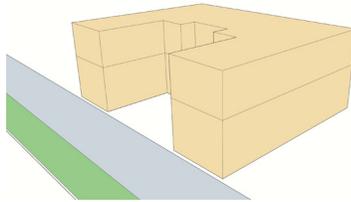


# Center Station Multifamily Buildings

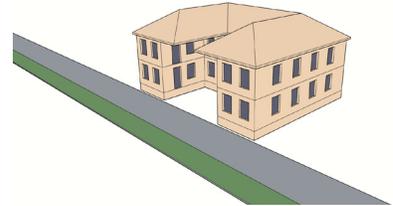
## Medium 2-story building

### Courtyard Style Apartment

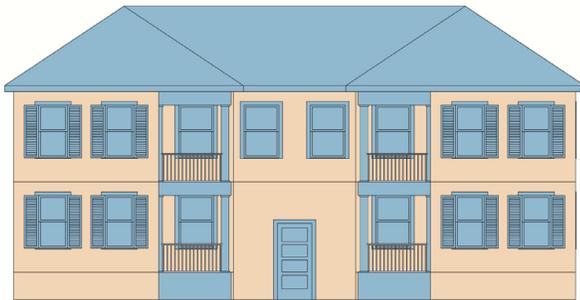
1. A multifamily building with a small scale.
2. A courtyard allows all units to be naturally lit from multiple directions.



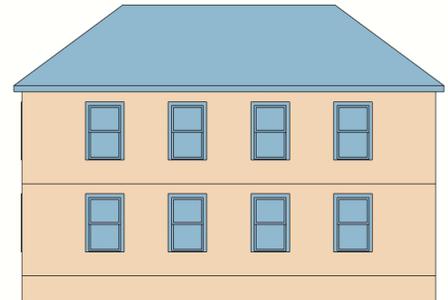
*A 2 to 3-story building program in a square or rectangular footprint with a courtyard.*



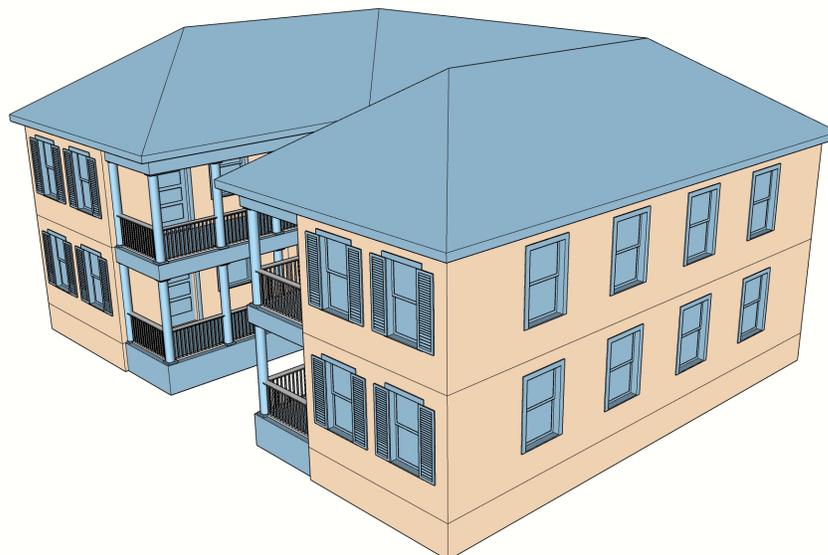
*Windows and porches are placed to take advantage of the natural light available around the exterior perimeter, and the privacy afforded by the courtyard.*



*A central courtyard provides a semi-private entrance and porch area while maintaining the building facade line of the block.*



*Ground floor side windows are necessary to maintain the visual permeability of the street frontage. Side windows towards the rear of the building are optional, but encouraged.*



*Roof and window types, awnings, trim, and brackets add detail to the building and give it a coastal appearance.*

# Center Station Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows

## 5. Columns

Square or round metal or wood

## 6. Doors

Metal or wood storefront with transoms

## 7. Ground floor windows

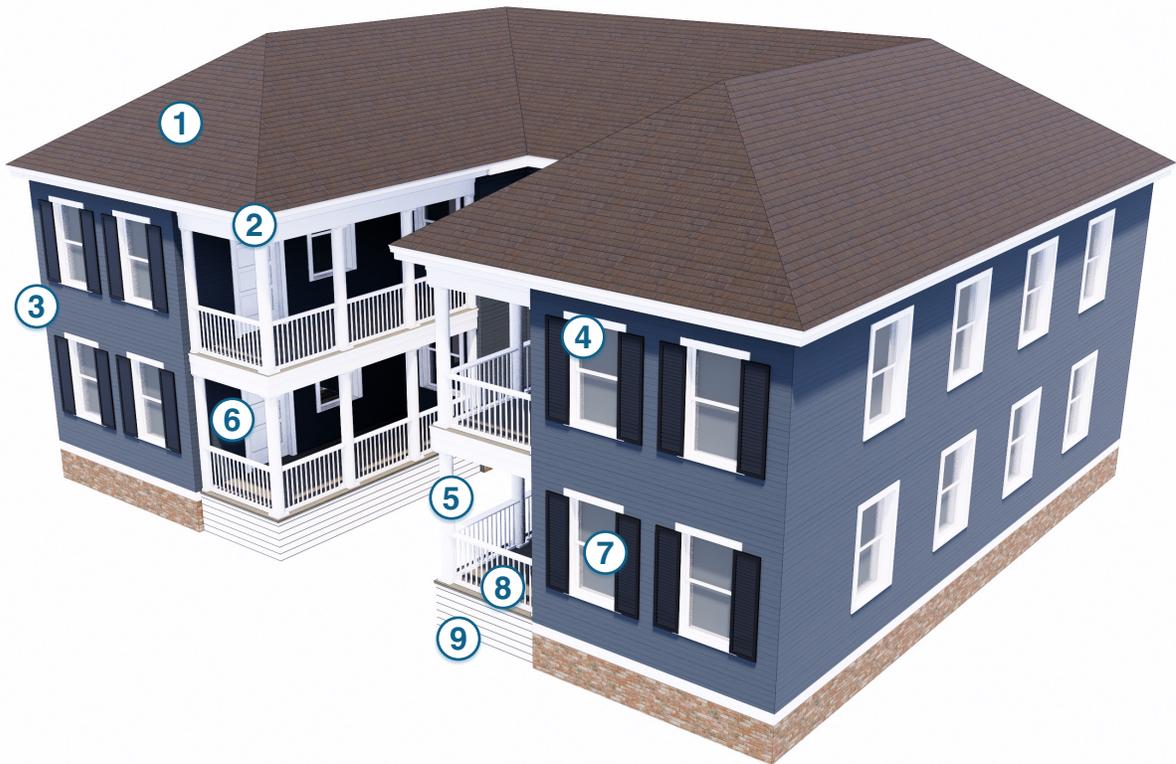
Metal or wood storefront with transoms metal

## 8. Railings

Wood or composite

## 9. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

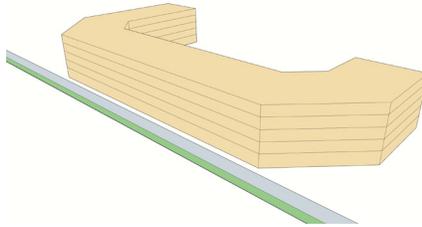


# Center Station Multifamily Buildings

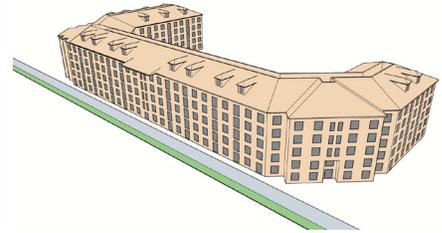
## Large 4-story building

### Grand Hotel Style Apartment

1. Multi-tiered porches are a defining feature of the grand hotel style. Their repetitive nature is efficient for construction and reduces the visual scale of the building.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



A 2 to 5-story building program in a rectangular broadfront footprint.



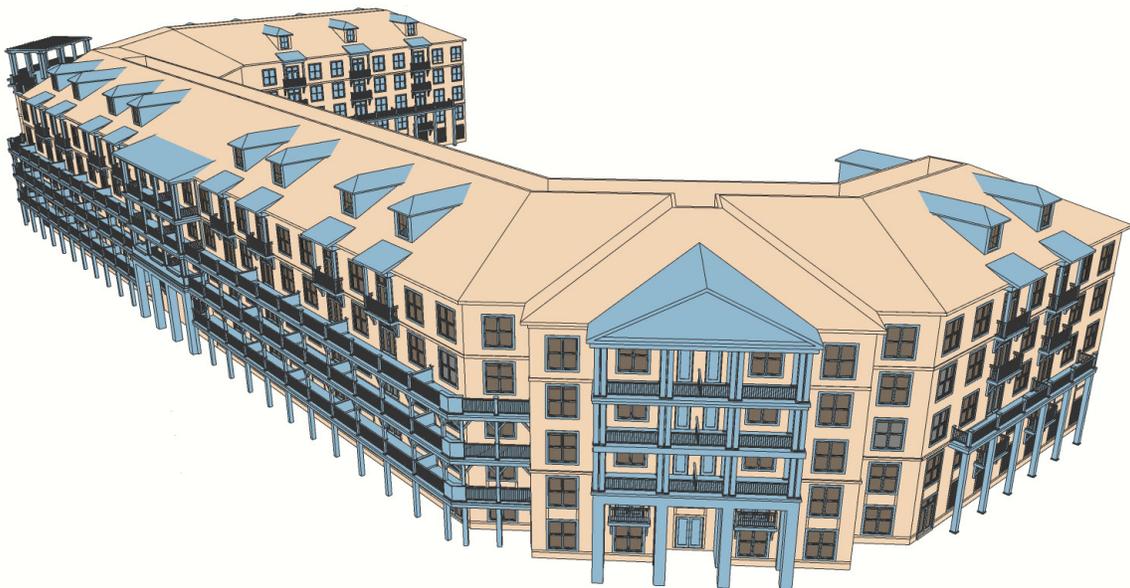
Turning the ends of the building back in to the lot provides a courtyard for parking or building amenities.



A front facade with doors and generous windows centered on bays is functional and pedestrian friendly.



Carrying the same elements of the front facade around the sides creates a coherent building.



Roof and window types, awnings, trim, and brackets add detail to the building and give it a coastal appearance.

# Center Station Multifamily Buildings

## 1. Roof

Cedar shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows

## 5. Dormers

Wood, aluminum, or fiberglass Bermuda shutters. full width and length of window

## 6. Porch roof

Match main roof

## 7. Columns

Square metal or wood with beveled corners

## 8. Doors

Metal or wood storefront with transoms

## 9. Ground floor windows

Metal or wood storefront with transoms

## 10. Screening Of Parking

Wood, metal, or fiberglass entry door

## 11. Railings

Brick, cast-in-place concrete, or parged CMU

## 12. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

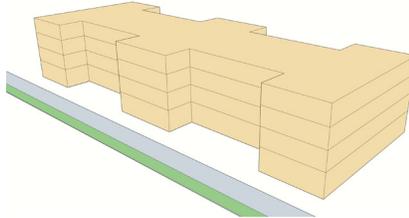


# Center Station Multifamily Buildings

## Large 4-story building

### Grand Hotel Style Apartment

1. Multi-tiered porches are a defining feature of the grand hotel style. Their repetitive nature is efficient for construction and reduces the visual scale of the building.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



*A 2 to 5-story building program in a rectangular broadfront footprint.*

*Turning the ends of the building back in to the lot provides a courtyard for parking or building amenities.*



*A front facade with doors and generous windows centered on bays is functional and pedestrian friendly.*



*Carrying the same elements of the front facade around the sides creates a coherent building.*



*Roof and window types, awnings, trim, and brackets add detail to the building and give it a coastal appearance.*

# Center Station Multifamily Buildings

## 1. Roof

Cedar shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows

## 5. Dormers

Wood, aluminum, or fiberglass Bermuda shutters. full width and length of window

## 6. Porch roof

Match style of balconies.

## 7. Columns

Square metal or wood with beveled corners

## 8. Doors

Metal or wood storefront with transoms

## 9. Ground floor windows

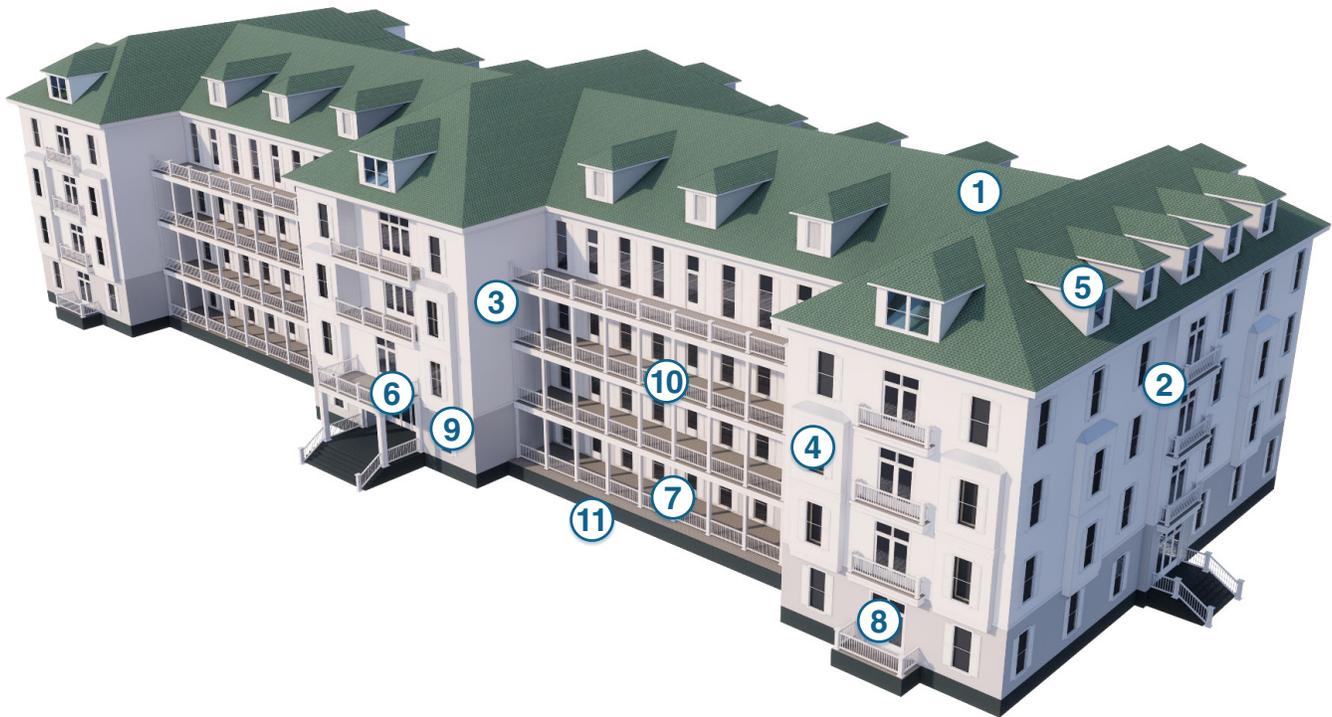
Metal or wood storefront with transoms.

## 10. Railings

Brick, cast-in-place concrete, or parged CMU

## 11. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.



# Center Station Commercial, Mixed Use, & Multifamily

## Building details

### Roof materials



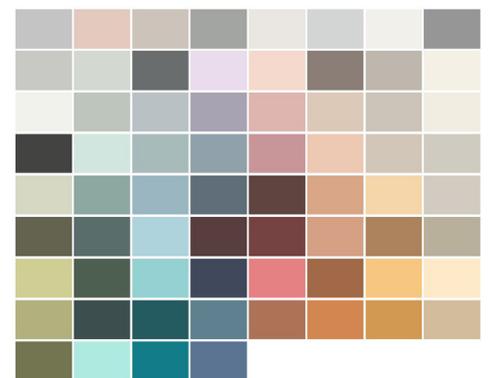
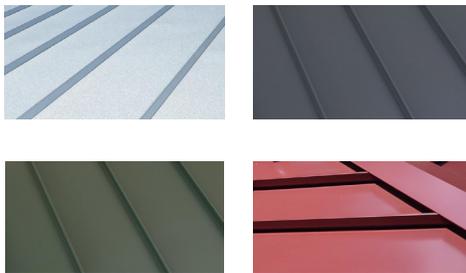
Architectural shingles. Dark green, medium brown, medium gray, or dark red in color.



Standing seam metal. 1 1/2" vertical seam with 12"-18" spacing. Silver metallic, medium gray, dark green, or dark red in color



Cedar or cypress shingles.



### Exterior cladding details



Full brick buildings as well as buildings that have brick foundations and clapboard or shingle cladding above are appropriate.



Wood or fiber cement clapboard siding in a variety of colors in whites, grays, earth tones, and pastels are appropriate. Exposures should be 8" or less.



Cedar shake or fiber cement simulated shake siding, stained, painted, or natural, is appropriate. Colors should be whites, grays, earth tones, or pastels.

### Windows and doors details



Doors and windows set in brick - recessed with brick mold with brick lintels or arches above and brick or wood/composite sills below.



Doors and windows set in clapboard siding with trim 3" to 6" in width. The door/window trim width should always be less than the width of the corner trim of the building.



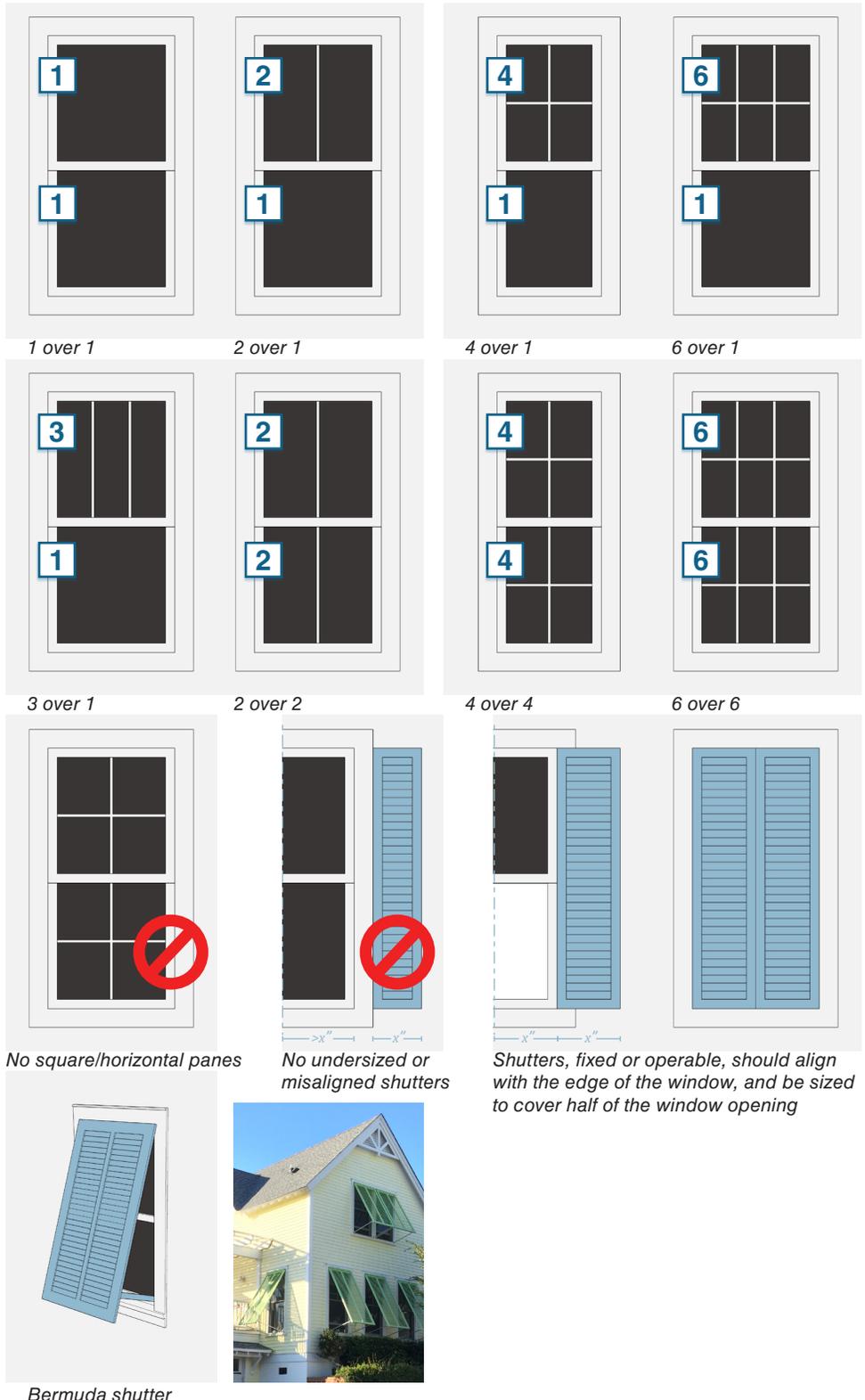
Doors and windows set in cedar or cypress shake siding with 1 1/2" to 3" flat trim.

# Center Station

## Commercial, Mixed Use, & Multifamily

### Double-hung windows

- Upper story windows, and windows in residential spaces on any level should be operable.
- Casement and awning windows are appropriate in circumstances where the window sill is higher than typical, such as in bathrooms or over a counter top.
- Double-hung windows are the most common and are appropriate in most circumstances.
  - Muntin divisions should result in individual panes (also called *lites/lights*) with a vertical proportion, rather than being square or horizontal.
  - Vary the number of divisions in differently-sized windows in order to maintain a similar pane proportion from one window to the next rather than maintaining the same number of divisions for every window.
- Operable shutters are preferred for protection from storm-borne debris as well as their functionality in maintaining privacy and reducing solar gain while windows are open in nice weather.
  - Shutters should always be sized (whether operable or not) so that they would fully cover the window when closed.
  - Mulled windows should not have shutters alongside them unless each shutter is sized to cover half of the mullered unit.
- Operable Bermuda shutters are a great solution in coastal environments to protect from hot sun and storm-borne debris.
  - Bermuda shutters should be sized to overlap the window by at least 1" on all sides.



# Center Station Commercial, Mixed Use, & Multifamily

## Building details

### Railing Styles



**Cable Railing**  
Contemporary style of railing with high visibility and horizontal emphasis



**Decorative Railing**  
Transitional style of railing with low visibility and horizontal emphasis



**Plank Railing**  
Rustic style of railing with low visibility and horizontal emphasis



**Picket Railing**  
Traditional style of railing with vertical emphasis, picket styles vary

### Column Styles



**Doric Column**  
Classical style



**Square Column**  
Simple style, tapered sides shown above



**Double Columns on plinths**  
Contemporary style. Plinths can be wood or masonry



**Square Column**  
Simple style, shown with brackets above

### Bracket Styles



**Ornate Bracket**



**Simple Bracket**

## Center Station Public Space

Center Station, the gateway to Currituck Station, is a mixed-use sub-district. Commercial, office, and residential uses in this sub-district will produce more pedestrian activity than other sub-districts.

A public space is an area that a resident or visitor has access to from the public right-of-way (R.O.W.), typically a sidewalk in Center Station.

There are various types of public spaces appropriate for Center Station. The following requirements guide developing all public space in Currituck Station.



*The Center Station public space patterns are intended to result in a walkable, pedestrian-scaled environment similar to the rendering above.*

# Center Station Public Space

## Linear Lakes



*Linear lakes*

1. Tiered park that can store storm water temporarily.
2. The lowest tier contains continuously flowing water.
3. Paths and overlooks may be around the perimeter of the lake, along with site amenities.
4. Some appropriate site amenities are benches, trash receptacles, informational signage, path lighting, and tables with chairs.
5. The top-most tiers should be planted with native vegetation that can survive damp environments

## Amenities



*Seating along edges of walkable paths*

1. Benches should remain lit at night.
2. Benches facing each other are encouraged.
3. Plaza amenities may vary. At a minimum, provide shaded seating and paved walking paths.



*Shaded Bike Racks and Drinking Fountain*

1. Located adjacent to paved walkways and public spaces.
2. Bike racks are typical near commercial and office functions.
3. Shade structure should not be opaque - allowing full visibility of any locked bikes.

# Center Station Public Space

## Plazas



*Mid-Block Plaza*

1. Located along paved walkway
2. Neighboring properties may share a plaza.
3. Plaza minimum size 40' x 40'
4. Plaza paving should be designed to reflect heat. Color to contrast adjacent paving or groundcover.
5. Plaza amenities may vary. At a minimum, provide shaded seating.



*Corner Plaza*

1. Located adjacent to paved walkways at one corner of a block.
2. Plaza minimum size 80' x 60'
3. Plaza paving to reflect heat, not glare. Color to contrast adjacent paving or groundcover.
4. Plaza amenities may vary. At a minimum, provide shaded seating and paved walking paths.

## Squares



*Mid-Block Square*

1. Located along paved walkway, between 2 businesses.
2. Adjacent businesses may use squares.
3. Square minimum size 60' x 80'
4. Square paving to reflect heat, not glare. Color to contrast adjacent paving or groundcover.
5. Square amenities may vary, at a minimum, provide shaded seating.



*Intersection Square*

1. Located at the nexus of adjacent sub-districts.
2. Vehicular traffic surrounds the square.
3. Square minimum size 100' x 100'
4. Maintain a buffer between vehicular traffic and pedestrians inside square.
5. Suitable buffers are a continuous row of trees, planters, and/or on-street parking.

# Center Station Public Space

## Parks



*Pocket Parks*

1. Located within the open space of one lot.
2. Typically between 100 - 200 sq. ft.
3. These small parks are most useful on lots with multiple residences.
4. Paving at perimeter of space should be of contrasting color.
5. Seating and landscaping are common amenities here.



*Neighborhood Playgrounds*

1. Located within or near large public space.
2. Neighborhood playgrounds must be visible from the right-of-way.
3. Provide non-opaque fencing that is continuous and secured around the perimeter.
4. Seating, water fountains, and trash receptacles are common amenities to include.



*Dog Parks*

1. Fencing around dog park should be continuous.
2. Wood and metal picket fencing are acceptable. Provide top caps so that dollars won't get caught on pickets.
3. Planting at base of fence is encouraged, to eliminate burrowing.
4. When possible, provide water fountain for pets.
5. The groundcover should be artificial turf or seeded grass.
6. Ensure good drainage to prevent muddy areas from regular wear & tear
7. A trash container should be provided for collection of animal waste.



*Fitness Stations*

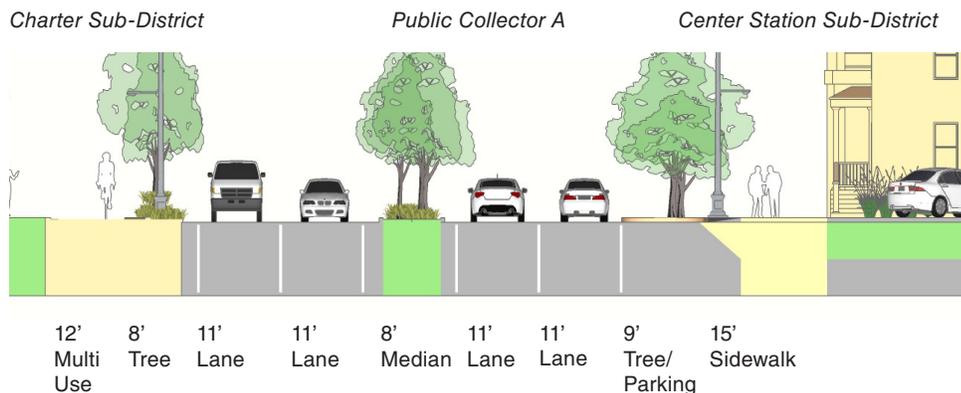
1. Paving should be soft and durable, rubber tiles and pourable rubber compounds are typical.
2. Paving color should have a low heat reflectivity.
3. Fitness station paving to reflect heat, not glare. Color to contrast adjacent paving or groundcover.
4. Fitness station amenities may vary, at a minimum, provide shaded seating and paved walking paths.

# Center Station Public Right-of-Way

## Collector streets

### Center Station - Charter Boundary

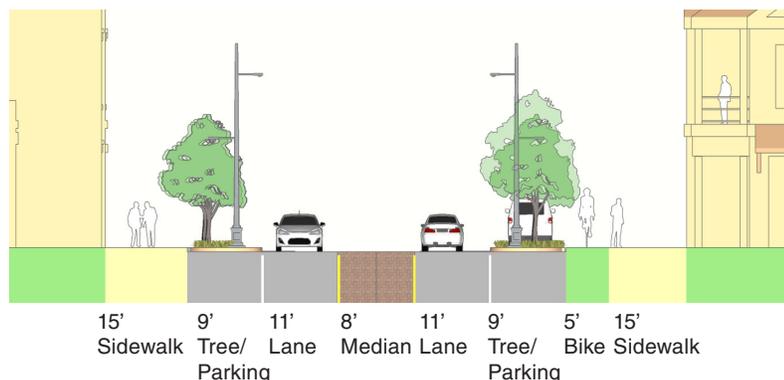
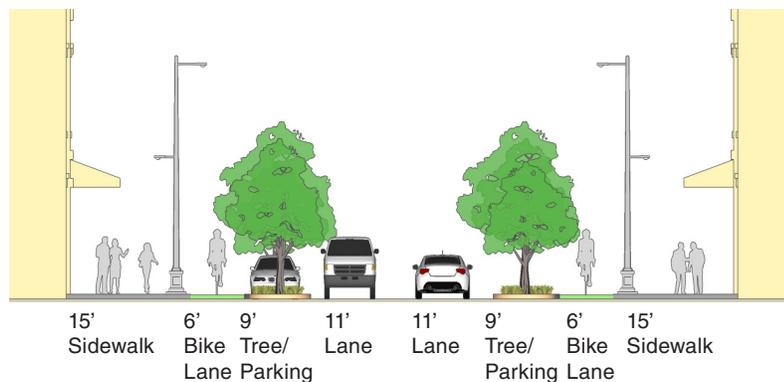
1. The lower density development of the Charter sub-district allows for a wide multi-use path that accommodates both pedestrians and cyclists along a pleasant, meandering path.
2. The 2 travel lanes exiting the development allow for morning rush traffic to more effectively stack at Caratoke Highway.
3. Parallel parking, and generous sidewalks help establish the pedestrian-friendly, retail-oriented nature of the Center Station sub-district.



## Local streets

### Interior Street Options

1. Sidewalks are sized to accommodate pedestrian movement as well as pedestrian oriented amenities such as seating areas and outdoor dining.
2. The bicycle lane is protected from traffic by a row of parallel parking and trees.
3. The parallel parking lane is used to accommodate treewells at regular intervals of 2 to 3 parking spaces.
4. Trees shall be placed at regular intervals and of a species sized to provide continuous shade to pedestrians.
5. Lighting shall be provided for both vehicular and pedestrian paths; lighting shall be 2700K maximum in color temperature and provide a CRI of 80 or better.



# Center Station Public Right-of-Way

## Pedestrian paths

1. Pedestrian paths in Center Station are wide enough to accommodate multiple uses.
2. Along East/ West Streets, are bike lanes on either side of the roadway.
3. Along North/South streets, the bike lane is located on the least commercially dense side to interfere with as few pedestrians as possible.
4. The pedestrian paths at the connection of Center Station and the neighboring Charter sub-district are wide multi use paths that can be populated by either cyclists, or ambulatory pedestrians.



10' 10' 5' 10'  
Center Station - Interior Streets - East/West travel direction



Center Station - Interior Street - North/South travel direction



Center Station - Charter Boundary 2' 12' 6'



## Section 5

The following pages provide examples of building massing and architectural styles that are compatible with the Currituck Station design intent. Designers are not expected to copy these, only to use them as a guide towards their own compatible designs.

### Charter Development Principles

The Charter sub-district provides a more conventional development pattern that reinforces the walkable nature of the Center Station Sub-District. The pattern of development includes a grid of streets supporting pedestrian activities, on-street parallel or angled parking, wide sidewalks with consistent tree canopy, outdoor café seating, and public spaces such as plazas and parks.

To reinforce the walkable, pedestrian-oriented nature of Charter's adjacent sub-district, off-street parking lots are located behind buildings or vegetated screens, towards the interior of the lot. Development is designed to support vibrant, walkable streets by placing buildings close to the street with active and public uses on the ground floor and pedestrian entrances accessed from the street. An interconnected network of sidewalks, multi-use paths, public spaces, and parks provide access to the mix of uses found throughout the sub-district.

The Charter sub-district is ideal for vertical mixing of residential, retail, and/or office functions within one building. Horizontal mixing of functions, within separate buildings is permitted with attention to detail through architectural and aesthetic treatments, integrated signage, landscape and buffer enhancements, and interconnected developments.



### Dimensions

The allowable dimensions for the Charter sub-district are designated in the Currituck Unified Development Ordinance.

### Allowable uses

This is an abbreviated table of uses for reference only. For a current and complete table of uses, see the Unified Development Ordinance

#### Residential Uses

Multifamily  
Single Family (Attached)  
Mixed-Use

#### Commercial Uses

Retail  
Office  
Health Care  
Restaurant  
Recreation  
Hotel

#### Industrial Uses

Warehouse

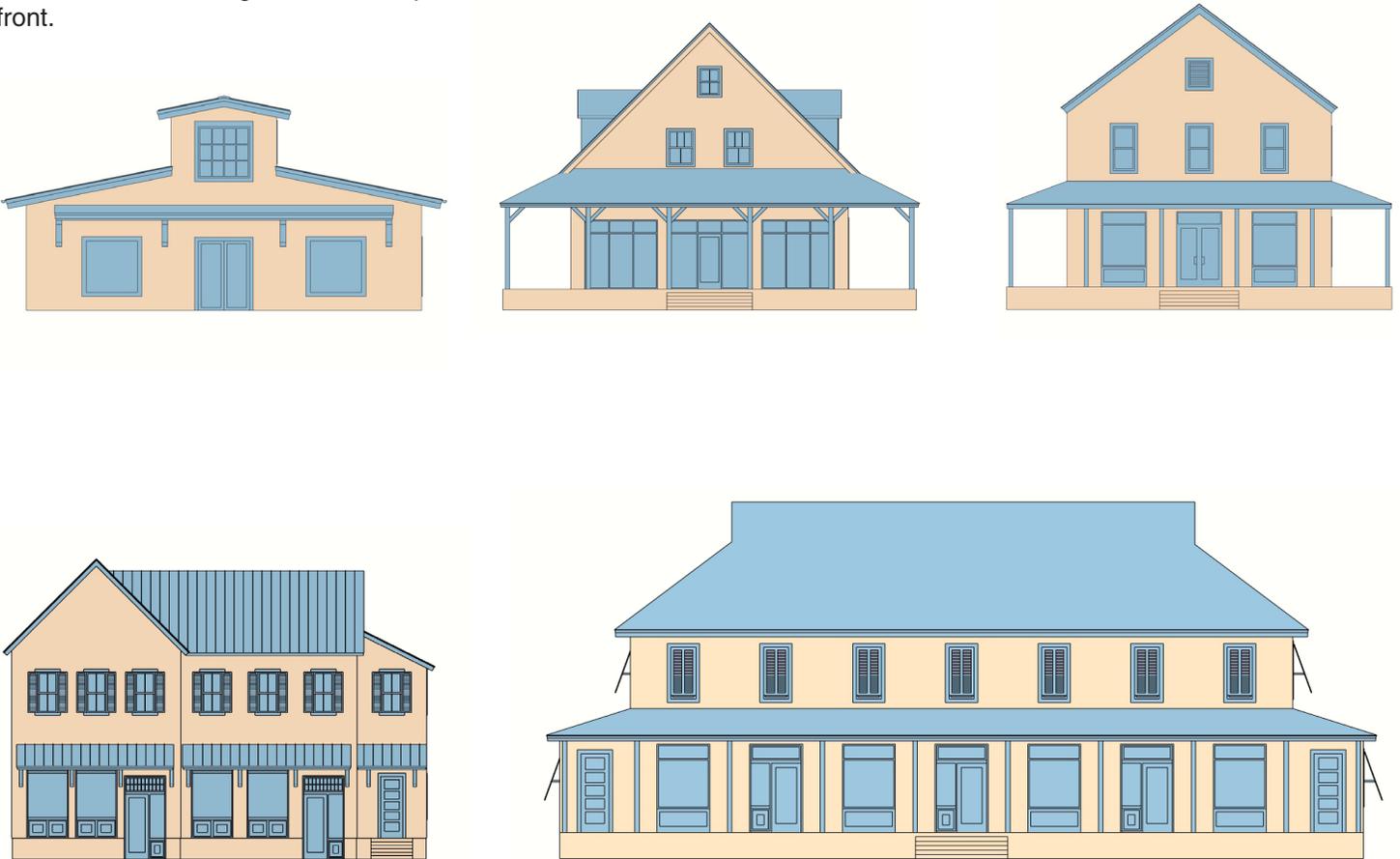
#### Civic Uses

Public Space  
Community  
Education

# Charter Commercial & Mixed Use Buildings

Charter sub-district commercial and mixed use developments follow the patterns of the small and medium Center Station buildings.

Additions such as drive-through canopies and garage doors support the more auto-oriented nature of the Charter sub-district. These additions should be placed at the rear of the building to maintain a pedestrian oriented front.

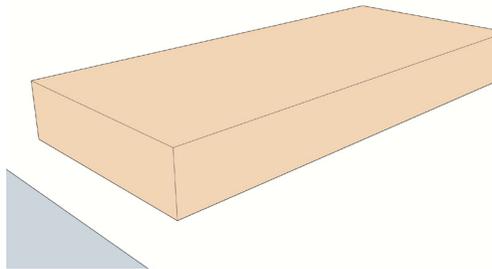


# Charter Commercial & Mixed Use Buildings

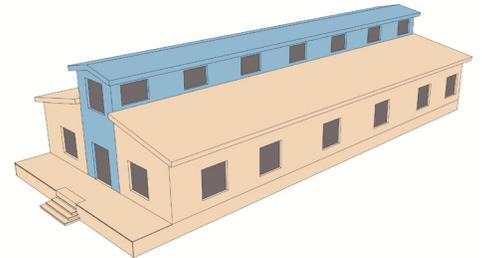
## Small 2-story building

### Clerestory building

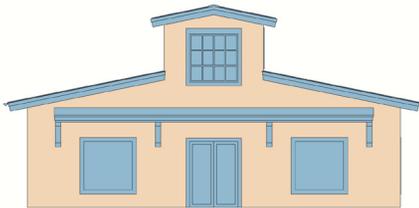
1. Use features such as clerestories to give a small building a 2-story appearance. The second floor may or may not be occupied.
2. Simple details give the building a pedestrian-friendly facade while keeping costs low.



*A 1-story building program in a rectangular footprint. A 1-story building can only be accommodated if the facade is at least 20' tall giving a 2-story appearance.*



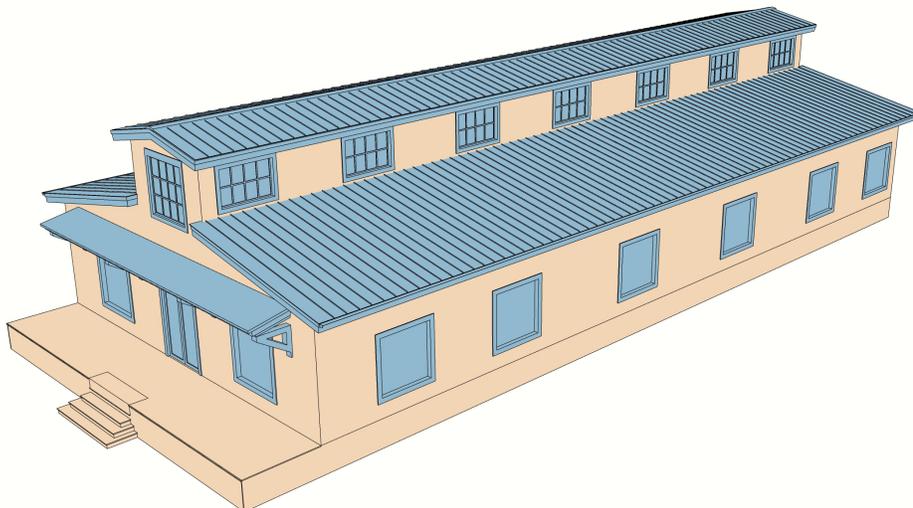
*Adding a clerestory gives the building a usable 2nd story for offices or studio apartments. Alternatively, the clerestory can be used to provide additional natural light and an airy feeling to the 1st floor space while meeting the 20' building height requirement.*



*A front facade with doors and generous windows centered on bays is functional and pedestrian friendly. The width of the clerestory section can be adjusted to suit the building program needs.*



*Ground floor side windows near the street are necessary to maintain visual permeability of the street frontage. Side windows towards the rear of the building are optional, but encouraged.*



*A small, simple fixed awning with support brackets and simple trim profiles add detail to the building and give it a coastal appearance.*

# Charter Commercial & Mixed Use Buildings

## 1. Roof

Standing seam metal due to low pitch

## 2. Trim

Simple profile, multi-layered

## 3. Cladding

Board & batten, cedar shake, or cementitious clapboard

## 4. Clerestory windows

Divided lite, clear glass windows

## 5. Awning

Metal or wood with simple brackets

## 6. Railings

Metal or wood

## 7. Doors

Metal or wood storefront

## 8. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 9. Decking

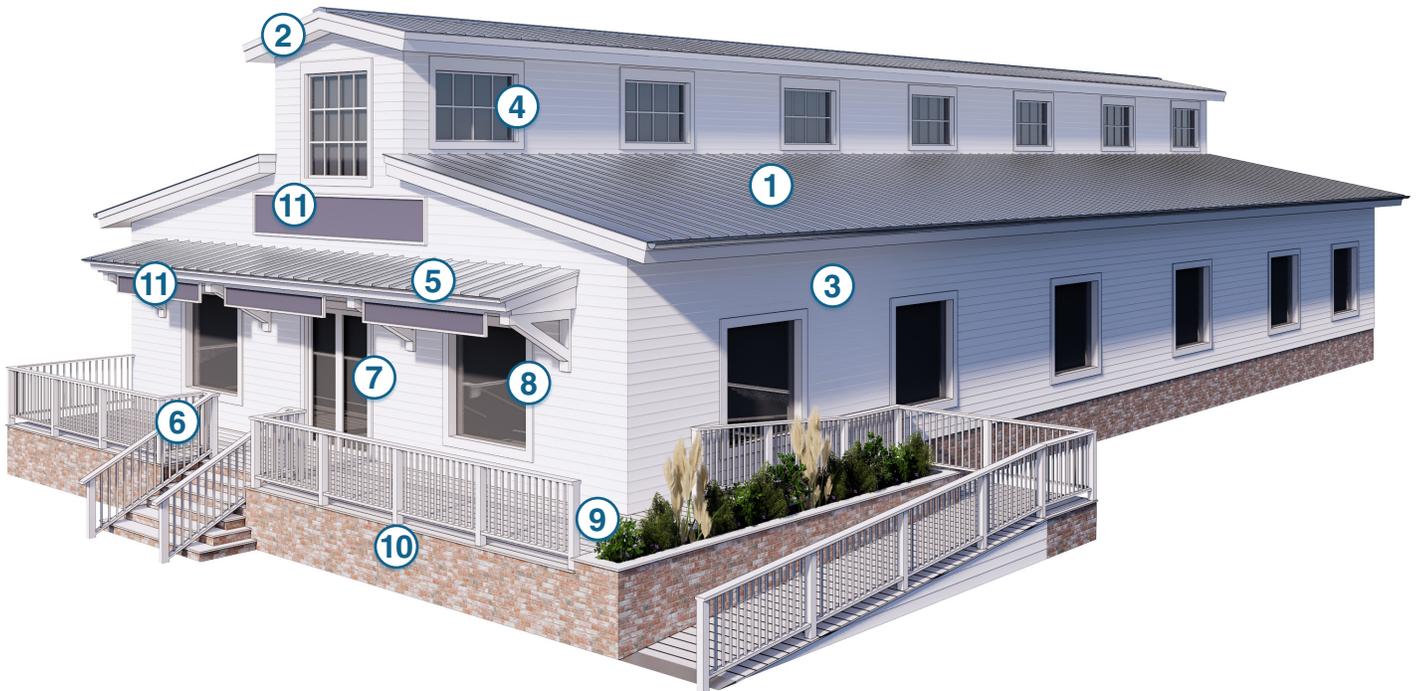
Wood (rot resistant)

## 10. Foundation

Brick, wood slat, cast-in-place concrete

## 11. Sign boards

Wood, metal, or composite with raised perimeter



Local Pie in Bluffton, SC



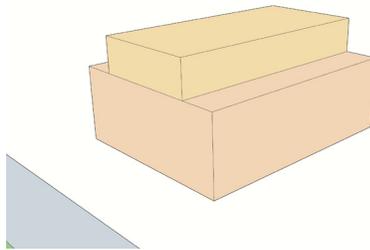
The Hitching Post (The Spry Store) in Currituck, NC

# Charter Commercial & Mixed Use Buildings

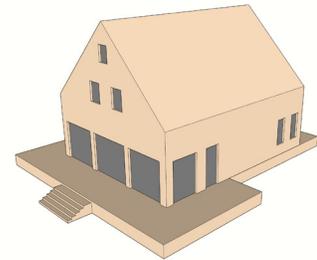
## Small 2-story building

### A-Frame with Porch

1. An iconic building form along the eastern seaboard, the A-frame is easy to construct, weathers storm events, and provides ample floor space while presenting a compact facade to the public.
2. A deep wrap-around porch shades the windows from hot summer sun and makes an inviting place for customers to enjoy.



A 2-story building program in a rectangular footprint.



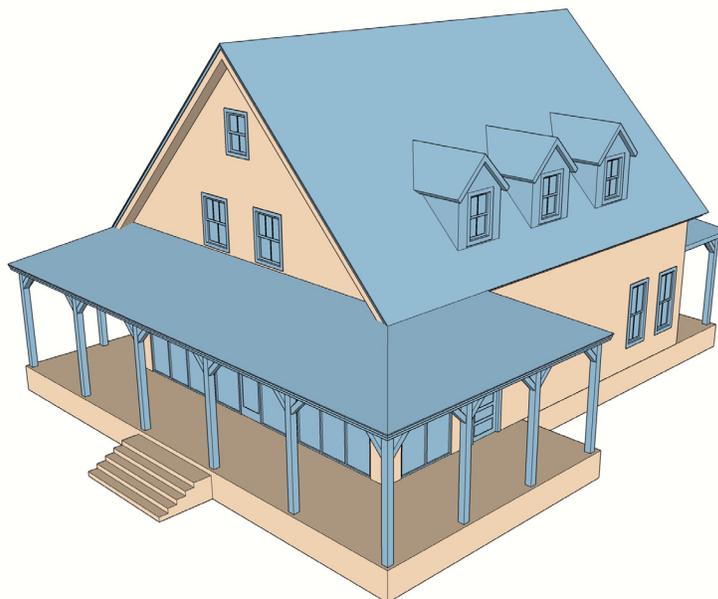
A steeply pitched roof encompasses the entire upper story.



A front facade with storefront glazing and transom windows allows natural light into the lower story space and invites pedestrians in.



Dormers let light into the upper story space and provide additional floor space. If the upper story is to be occupied by a different tenant, or is for a residential use, then a separate side entry can be added.



Straight or braced columns support the deep porch. Dormers can be separate or combined into one large dormer.

# Charter Commercial & Mixed Use Buildings

## 1. Roof

Cedar shingle, architectural shingle, or standing seam metal

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Divided lite, clear glass windows

## 4. Porch roof

Cedar shingle, standing seam metal, or architectural shingle

## 5. Columns and brackets

Painted wood or composite wood

## 6. Ground floor windows

Metal or wood storefront with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

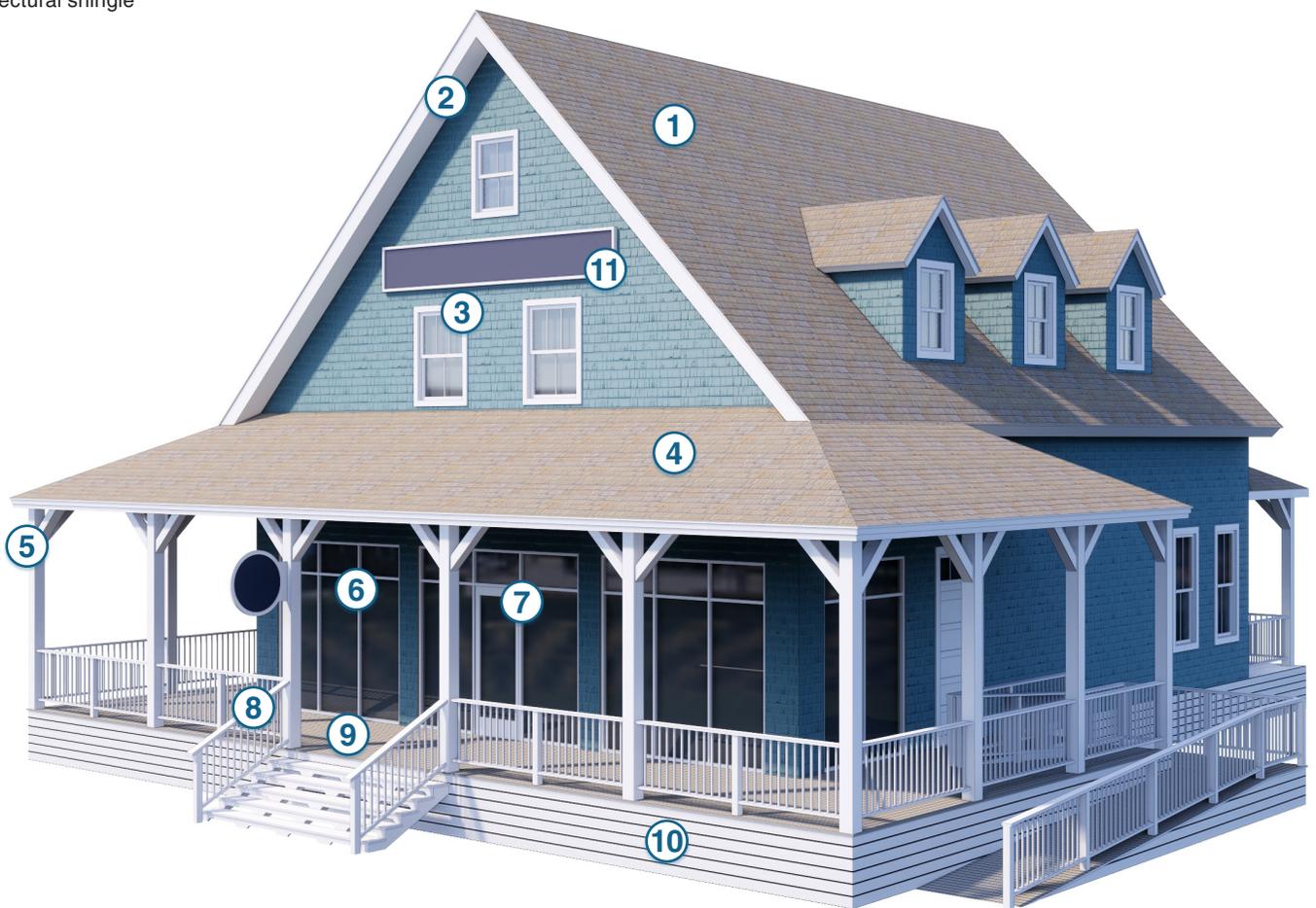
Wood (rot resistant), or composite wood.

## 10. Foundation skirt

Painted wood (rot resistant) or painted PVC

## 11. Sign board

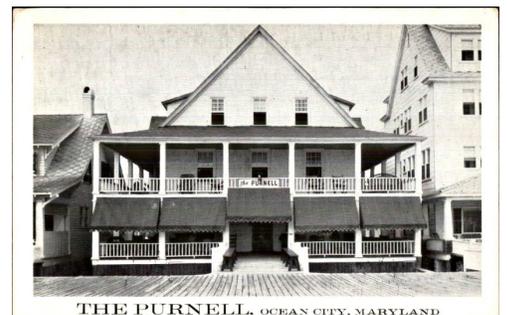
Wood, metal, or composite with raised perimeter



*Caffey's Inlet Lifesaving Station  
in Dare County, NC*



*Seatack Station, Virginia Beach, VA*



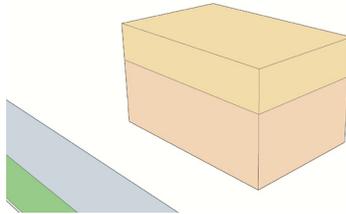
*The Purnell Hotel, Ocean City, MD*

# Charter Commercial & Mixed Use Buildings

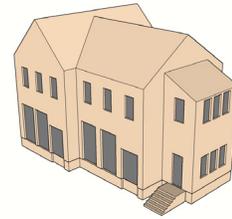
## Medium 2-story building

### L-shaped

1. Use gable ends to break up longer facades and create the appearance of a series of smaller masses.
2. Simple details give the building a pedestrian friendly facade while keeping construction costs low.



A 2-story building program in a rectangular broadfront footprint.



Adding a gable end breaks up the building facade and provides multiple distinct storefronts.



Storefront windows and doors allow pedestrians to see into the ground floor spaces. A stair and elevator tower on the end of the building gives private access to the upper story if desired.



A drive-through canopy added to the rear of the building allows auto-oriented uses to occupy the building while maintaining the vernacular character.



Awnings with brackets and shutters protect the windows from sun and rain.

# Charter Commercial & Mixed Use Buildings

## 1. Roof

Standing seam metal, cedar shingle, or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or painted PVC

## 3. Cladding

Wood clapboard, cedar shake, or cementitious clapboard, brick

## 4. Upper story windows

Double hung, true or simulated divided lites, clear glass windows

## 5. Shutters

Wood or fiberglass, 1/2 width and full height of window, operable louvered or solid shutters

## 6. Awning

Metal or wood with simple brackets

## 7. Doors

Metal or wood storefront with transoms and clear glass.

## 8. Ground floor windows

Metal or wood storefront with transoms. Wood, metal, or painted PCV paneling

## 9. Foundation

Brick, cast-in-place concrete, or parged CMU

## 10. Residential door

Wood, metal, or fiberglass entry door

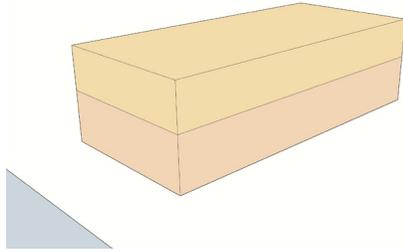


# Charter Commercial & Mixed Use Buildings

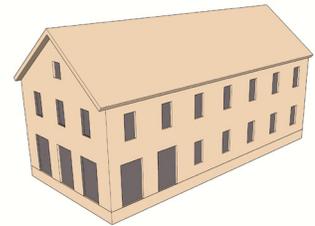
## Medium 2-story building

### Gable-front building

1. A classic and versatile building form lends itself well to a vertical mix of uses.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



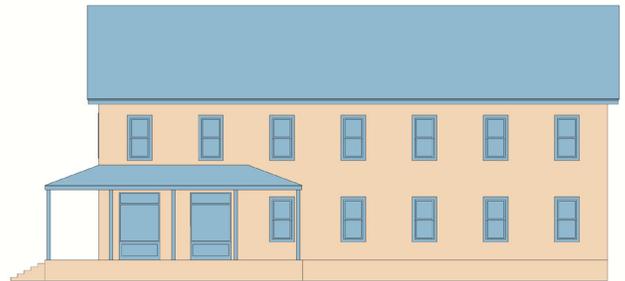
A 2 to 3-story building program in a rectangular footprint.



A gable above the upper story makes an easy-to-construct, adaptable, and durable building.



Minimal overhangs are typical, but the eaves can be extended up to 3' or 4' with exposed rafter tails for a more Craftsman appearance.



Evenly spaced side windows on all levels produce usable light throughout the building.



The wraparound porch can be supported by simple square columns or brackets.

# Charter Commercial & Mixed Use Buildings

## 1. Roof

Cedar shingle, standing seam metal, or architectural shingle

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Single or divided lite, clear glass windows

## 4. Porch roof

Standing seam metal, or to match main roof

## 5. Columns and brackets

Painted wood or metal, 4"-8" square or round

## 6. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

Wood (rot resistant) or composite wood

## 10. Foundation skirt

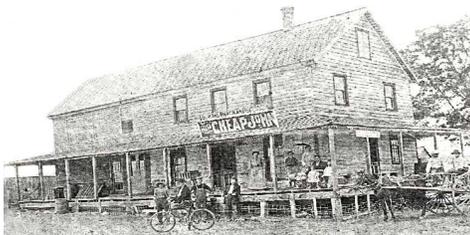
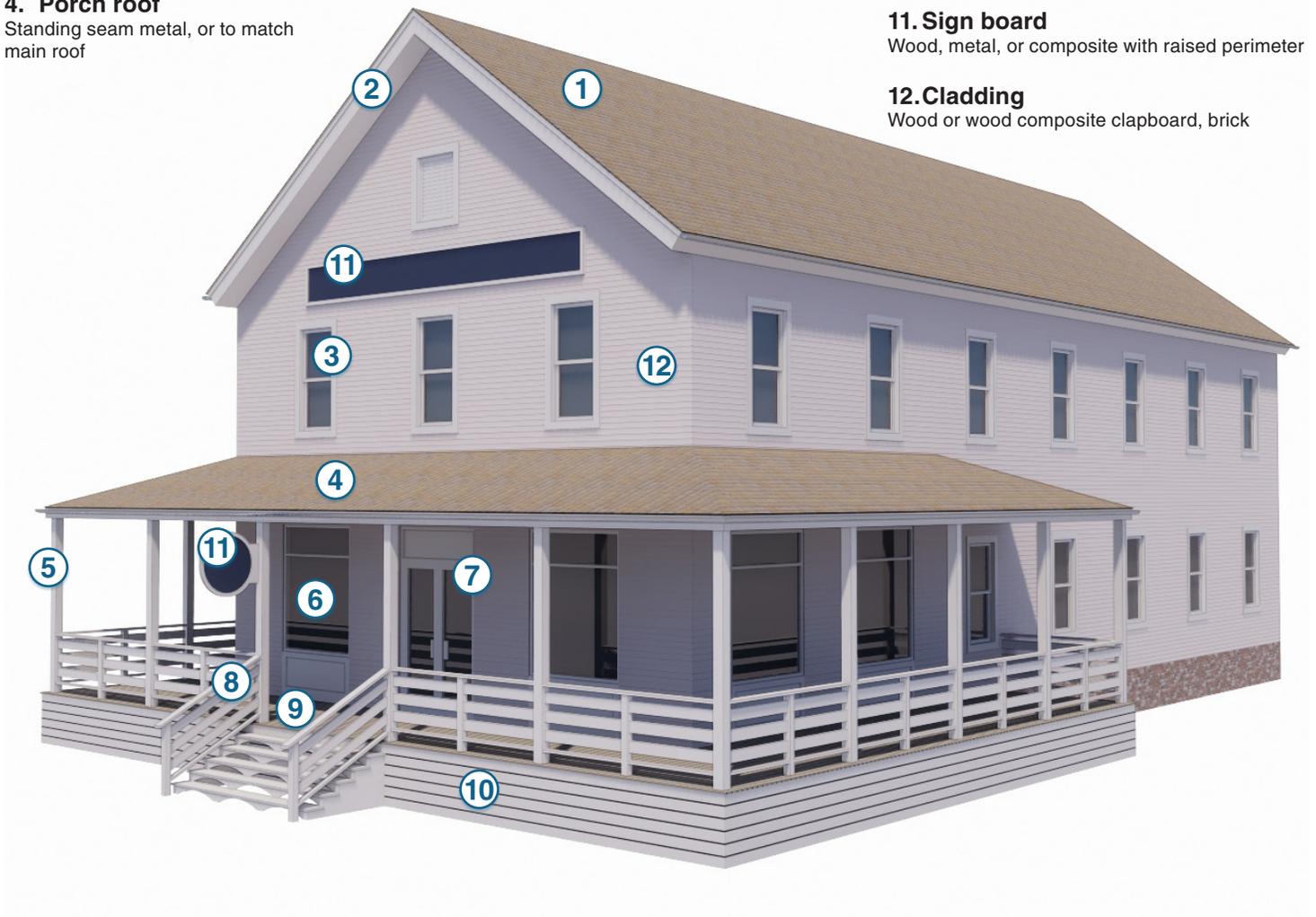
Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

## 11. Sign board

Wood, metal, or composite with raised perimeter

## 12. Cladding

Wood or wood composite clapboard, brick



Cheap John's Store, Currituck County, NC



Creekmore Brothers Store, Currituck County, NC



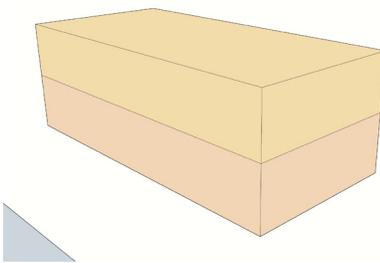
JM Roberts House, Currituck County, NC

# Charter Commercial & Mixed Use Buildings

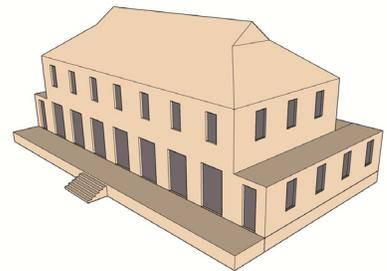
## Medium 2-story building

### Broad-front building

1. Occupy the frontage of a wide site and provide continuous street-level access to multiple tenants.
2. Upper stories can be used for offices or residential and are pulled back from the street.



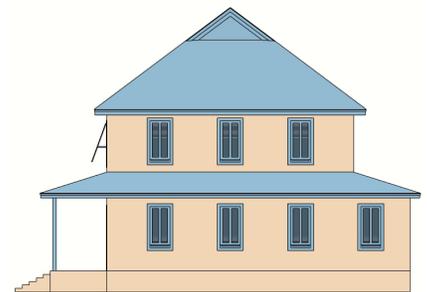
A 2 to 3-story building program in a rectangular broadfront footprint.



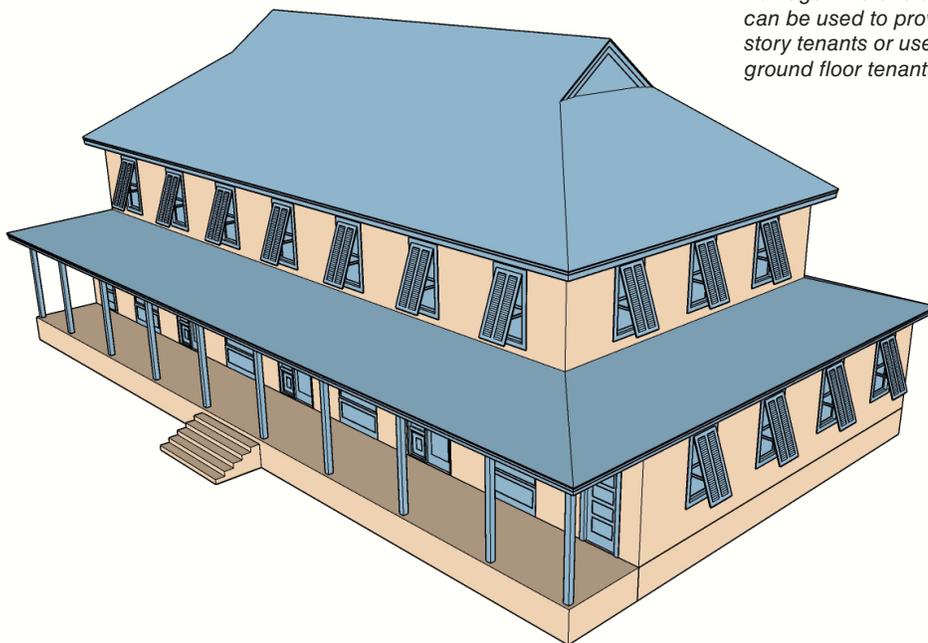
Closely spaced large openings at the ground floor are important to making the long facade feel permeable and welcoming to pedestrians.



A broad front facade allows for more space behind the building to be used for parking and allows for more individual tenants to have street frontage.



Ground floor side windows are necessary to maintain the visual permeability of the street frontage. The enclosed areas under the porch roof can be used to provide building access for upper story tenants or used as enclosed porches for ground floor tenants.



A gabled roof is used here, but gable or hipped roofs would also be appropriate. Bermuda shutters have been used to give the building a coastal appearance.

# Charter Commercial & Mixed Use Buildings

## 1. Roof

Cedar shingle, standing seam metal, or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, cedar shake, or cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows with shutters

## 5. Shutters

Wood, aluminum, or fiberglass Bermuda shutters. full width and length of window

## 6. Porch roof

Match main roof

## 7. Columns

Square metal or wood with beveled corners

## 8. Doors

Metal or wood storefront with transoms

## 9. Ground floor windows

Metal or wood storefront with transoms

## 10. Residential/Upper story door

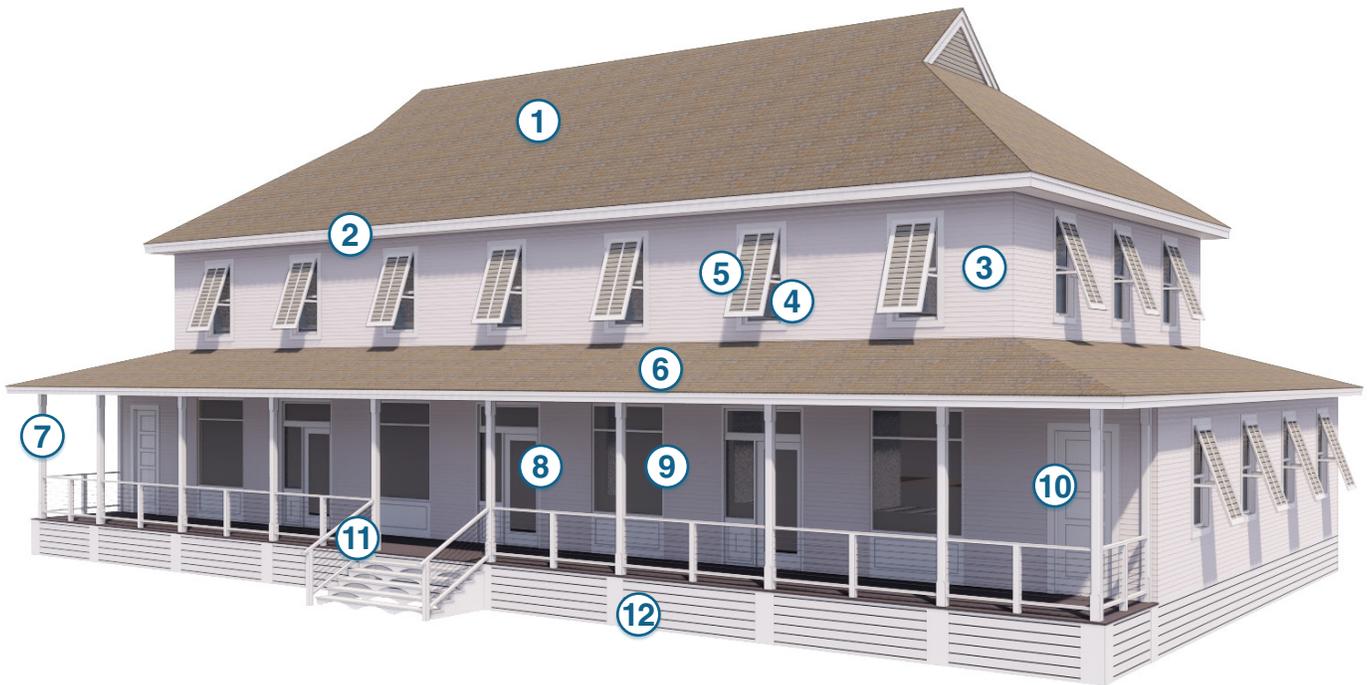
Wood, metal, or fiberglass entry door

## 11. Railing and stairs

Brick, cast-in-place concrete, or parged CMU

## 12. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.





## Charter Multifamily Buildings

Multifamily development in the Charter sub-district should be composed of neighborhood-scale buildings that can be clustered around a common amenity or parking area if a greater number of units is desired.

Multifamily buildings of this type can support up to 12 units. Shown in this section are examples of a duplex, a triplex, a courtyard apartment, and a mansion apartment. These basic building types can be scaled up or down to accommodate the site and number of units in the development.

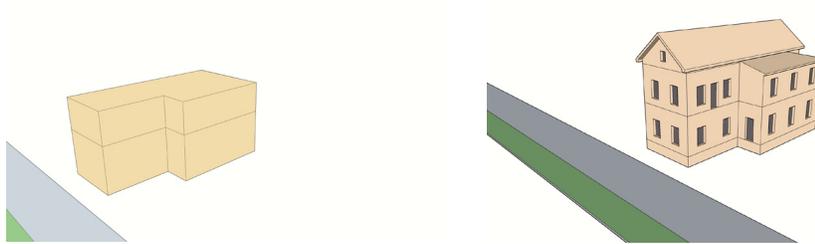


# Charter Multifamily Buildings

## Small 2-story building

### Duplex Style Apartment

1. A 2-story long, narrow building with a recessed side extension presents a narrow facade to the street.
2. The recessed entry provides privacy to the residents while giving the street frontage more depth.



A 2 to 3-story building program in a rectangular footprint.

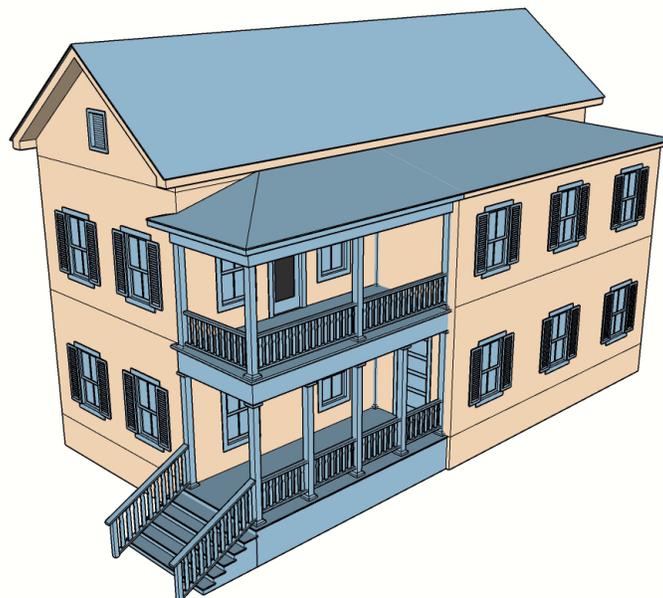
A side entry provides privacy on busy streets.



The narrow front facade is easily made pedestrian-friendly with just a few windows.



With the entries on the side, they can be less ornate and still be appropriate.



The side porches add detail to the front elevation while providing a private outdoor space for residents.

# Charter Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows

## 5. Porch roof

Match main roof

## 6. Columns

Square metal or wood with beveled corners

## 7. Doors

Metal or wood storefront with transoms

## 8. Ground floor windows

Metal or wood storefront with transoms

## 9. Building Main Entry

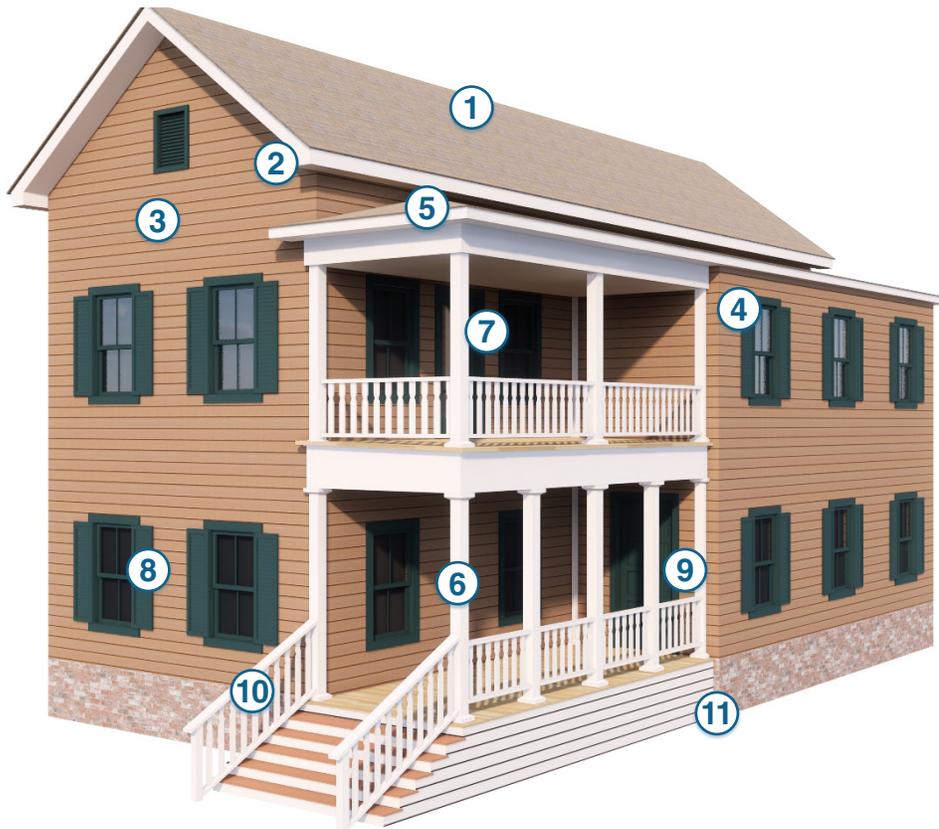
Wood, metal, or fiberglass entry door

## 10. Railings

Brick, cast-in-place concrete, or parged CMU

## 11. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

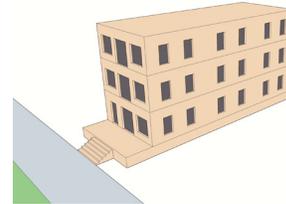
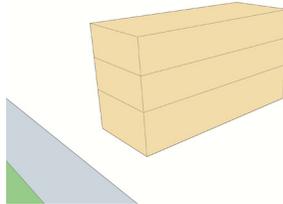


# Charter Multifamily Buildings

## Small 3-story building

### Triplex Style Apartment

1. A narrow building with 3 stacked apartments.
2. A compact footprint and simple detailing keep construction costs low while providing high density.

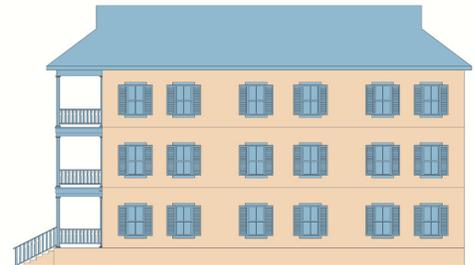


*A 2 to 3-story building program in a rectangular footprint.*

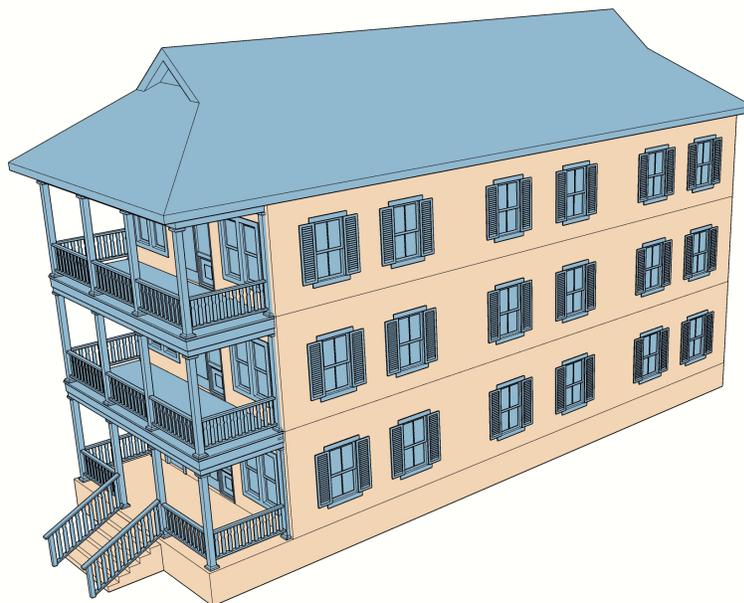
*A side entry provides privacy on busy streets.*



*The front facade is a simple composition with regularly spaced windows and doors.*



*Windows should be placed to daylight and ventilate all interior spaces.*



*A hipped or gabled roof helps to step the mass of the building back.*

# Charter Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingles

## 2. Trim

Simple profile, wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Windows

Double hung, divided lite, transparent glass windows

## 5. Columns

Square metal or wood with beveled corners

## 6. Building Main Entry

Wood, metal, or fiberglass entry door with transom or sidelites

## 7. Railings

Brick, cast-in-place concrete, or parged CMU

## 8. Foundation skirt

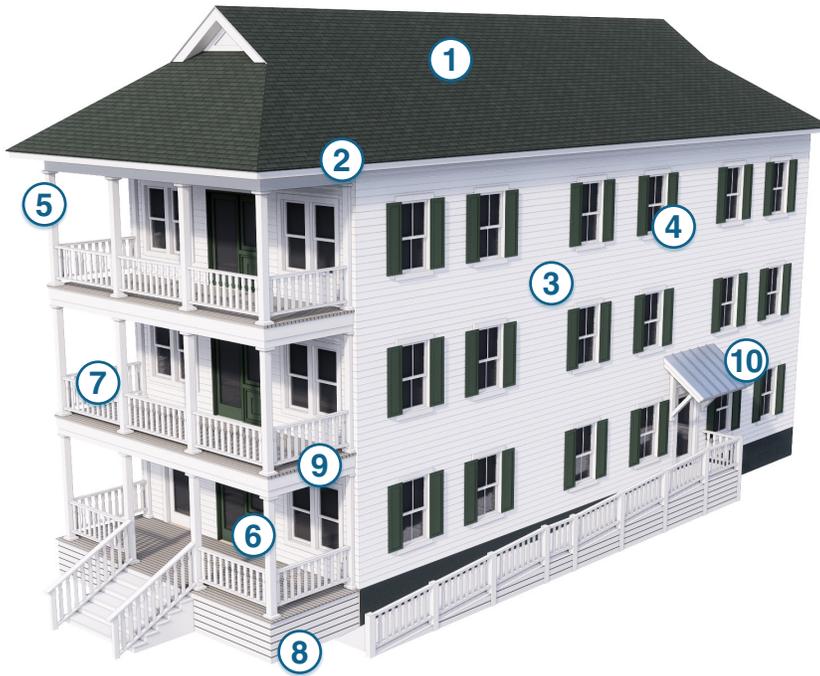
Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure

## 9. Porch Decking

Wood or wood composite deck with finished undersides of porches in wood or vinyl beadboard or cementitious fiber board panels

## 10. Awnings

Match main roof or standing seam metal with wood or metal structure

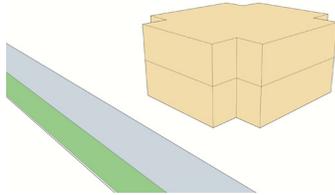


# Charter Multifamily Buildings

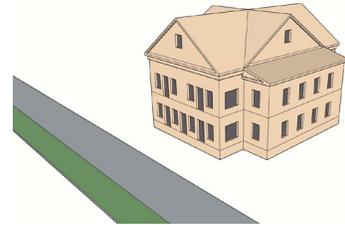
## Medium 2-story building

### Mansion Style Apartment

1. Intended to appear like a large house that has been broken up into smaller dwelling units, the design should be that of a large residence.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



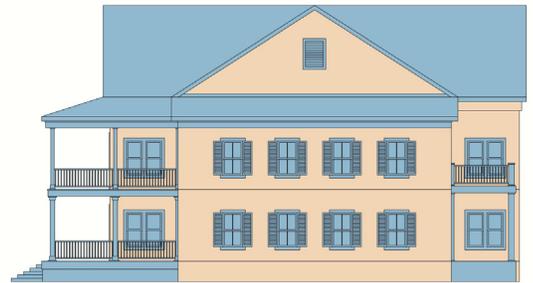
A 2 to 3-story building program in a rectangular or square footprint.



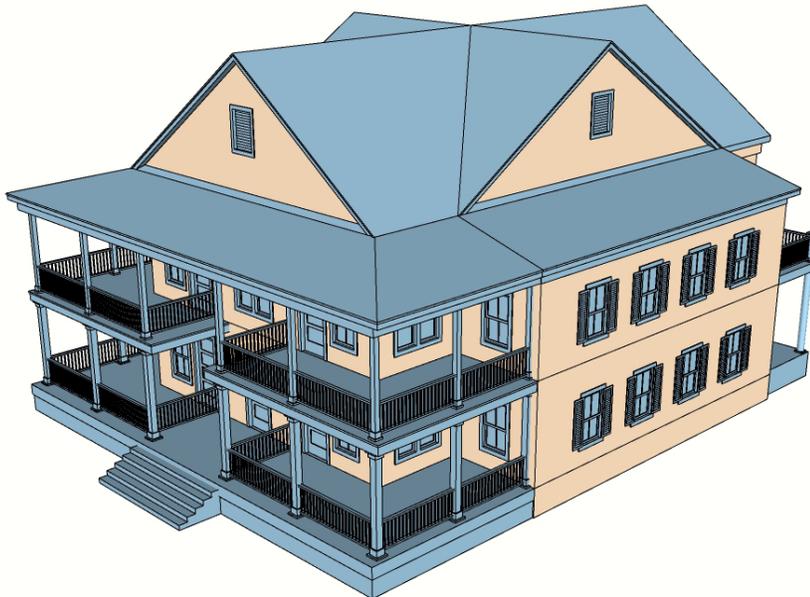
Typical residential windows and details are appropriate.



A front facade with doors and generous windows centered on bays is functional and pedestrian friendly.



The windows should continue around the perimeter of the building to provide daylighting for all of the interior spaces.



Wrap-around porches provide outdoor space for residents and accommodate a coastal lifestyle.

# Charter Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cedar shake, or cementitious lapped siding

## 4. Windows

Double hung, divided lite, transparent glass windows

## 5. Porch roof

Match main roof

## 6. Columns

Square metal or wood or wood

## 7. Entry Doors

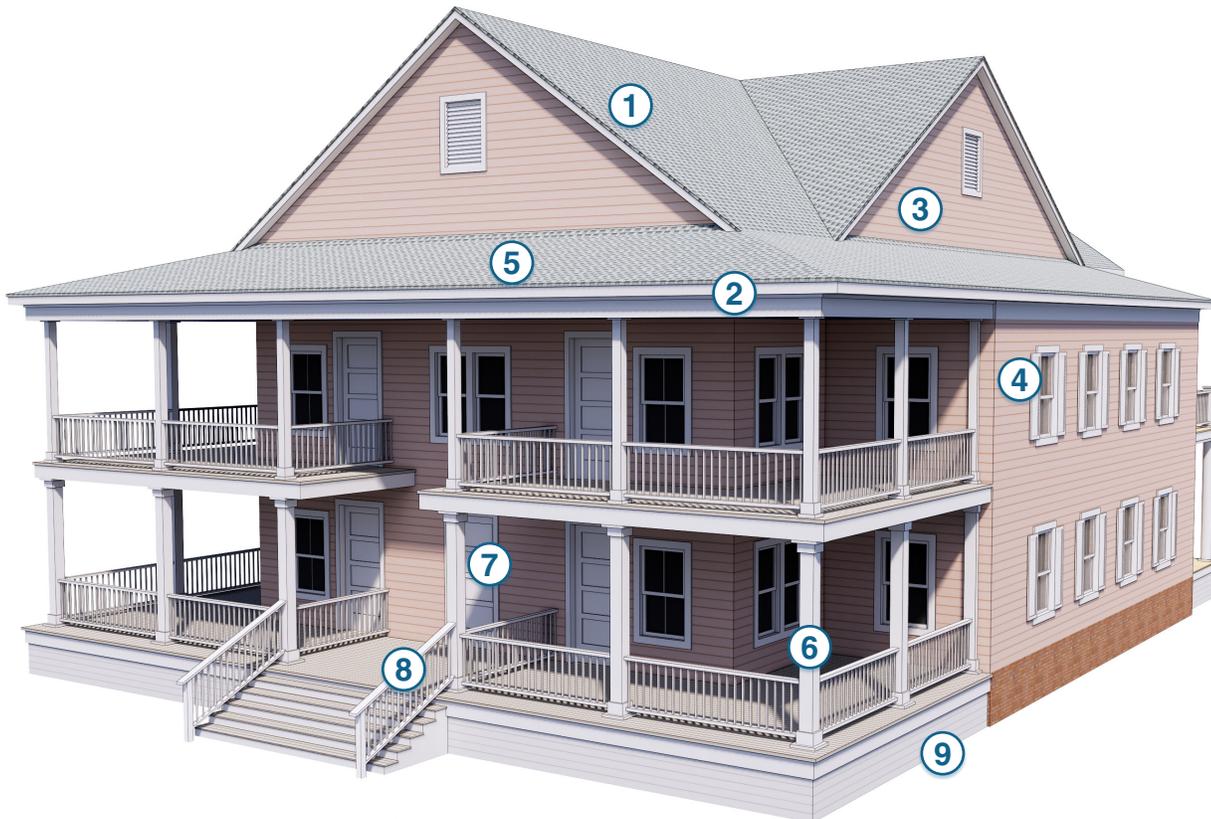
Wood, metal, or fiberglass entry door

## 8. Railings

Wood or wood composite

## 9. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure

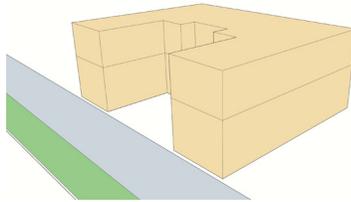


# Charter Multifamily Buildings

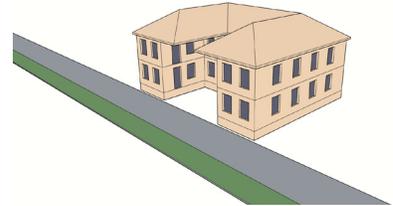
## Medium 2-story building

### Courtyard Style Apartment

1. A multifamily building with a small scale.
2. A courtyard allows all units to be naturally lit from multiple directions.



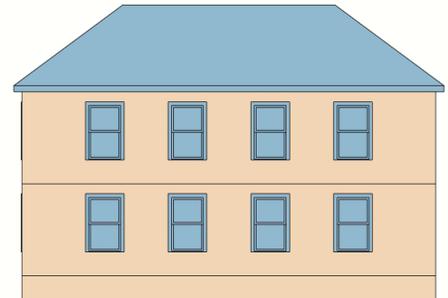
A 2 to 3-story building program in a square or rectangular footprint with a courtyard.



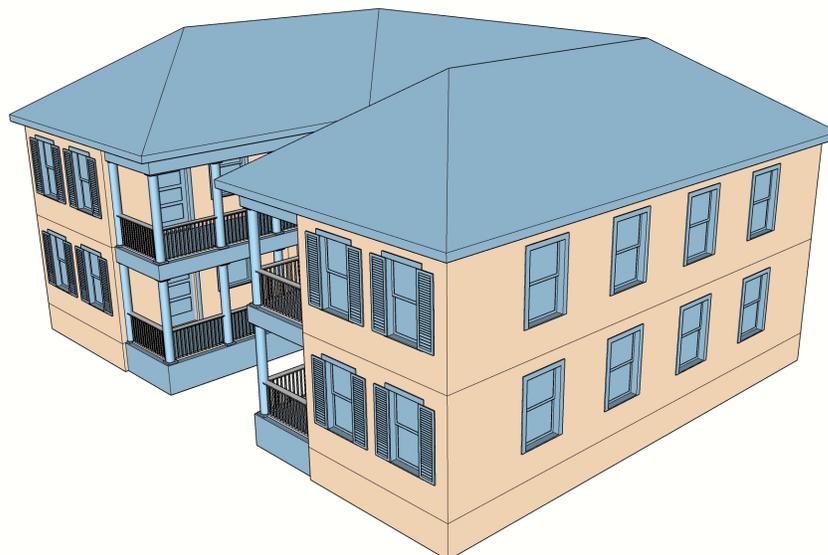
Windows and porches are placed to take advantage of the natural light available around the exterior perimeter, and the privacy afforded by the courtyard.



A central courtyard provides a semi-private entrance and porch area while maintaining the building facade line of the block.



Ground floor side windows are necessary to maintain the visual permeability of the street frontage. Side windows towards the rear of the building are optional, but encouraged.



Roof and window types, awnings, trim, and brackets add detail to the building and give it a coastal appearance.

# Charter Multifamily Buildings

## 1. Roof

Cedar shingle, architectural shingle, standing seam metal

## 2. Trim

Simple profile, multi-layered wood or PVC

## 3. Cladding

Wood lapped siding, brick, cementitious lapped siding

## 4. Upper story windows

Double hung, divided lite, transparent glass windows

## 5. Columns

Square or round metal or wood

## 6. Doors

Metal or wood storefront with transoms

## 7. Ground floor windows

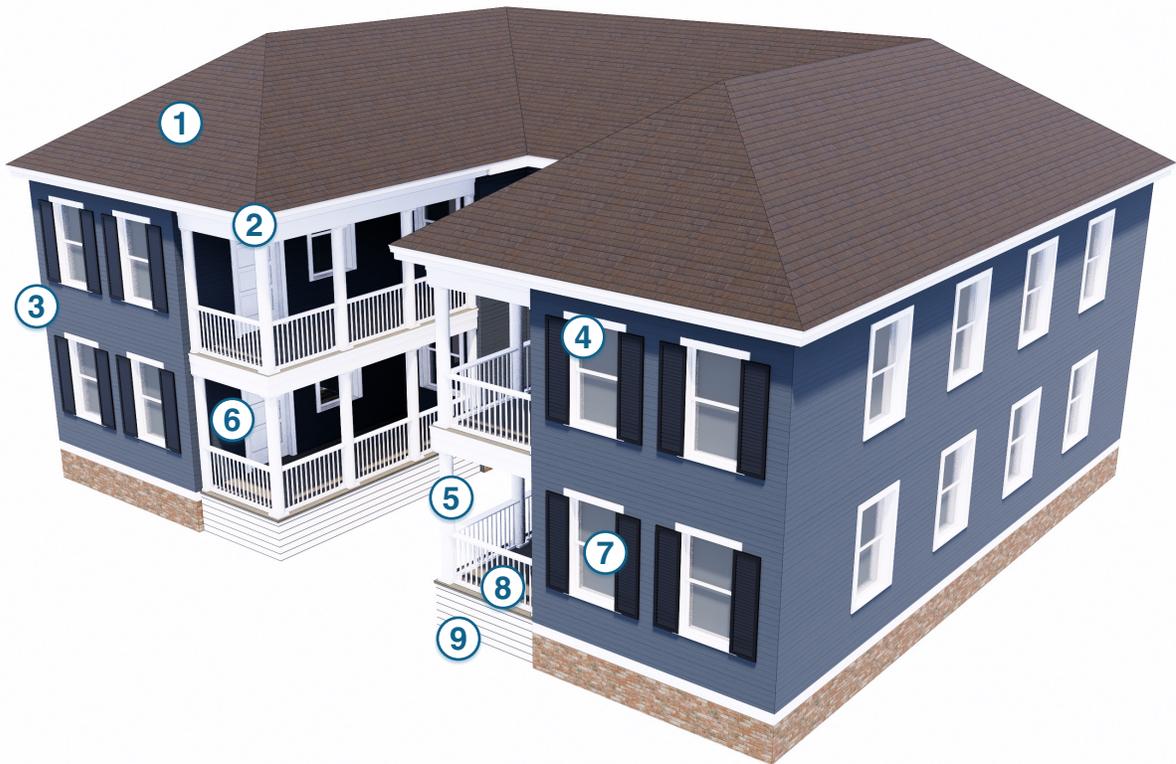
Metal or wood storefront with transoms metal

## 8. Railings

Wood or composite

## 9. Foundation skirt

Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.



# Charter Commercial, Mixed Use & Multifamily

## Building details

### Roof materials



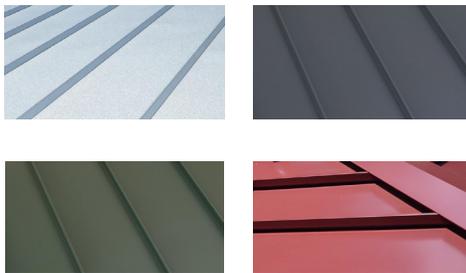
Architectural shingles. Dark green, medium brown, medium gray, or dark red in color.



Standing seam metal. 1 1/2" vertical seam with 12"-18" spacing. Silver metallic, medium gray, dark green, or dark red in color



Cedar or cypress shingles.



### Exterior cladding details



Full brick buildings as well as buildings that have brick foundations and clapboard or shingle cladding above are appropriate.



Wood or fiber cement clapboard siding in a variety of colors in whites, grays, earth tones, and pastels are appropriate. Exposures should be 8" or less.



Cedar shake or fiber cement simulated shake siding, stained, painted, or natural, is appropriate. Colors should be whites, grays, earth tones, or pastels.

### Windows and doors details



Doors and windows set in brick - recessed with brick mold with brick lintels or arches above and brick or wood/composite sills below.



Doors and windows set in clapboard siding with trim 3" to 6" in width. The door/window trim width should always be less than the width of the corner trim of the building.

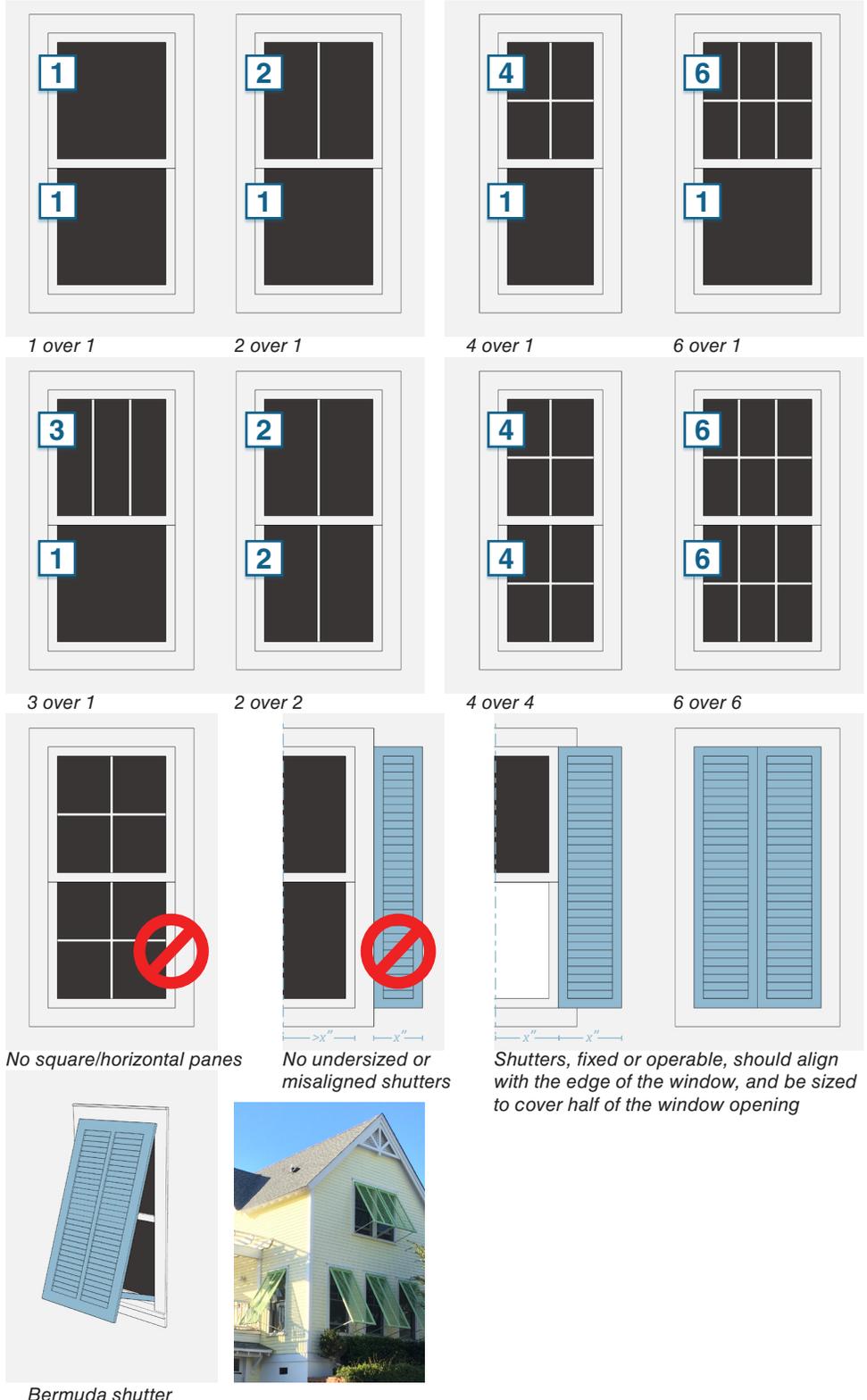


Doors and windows set in cedar or cypress shake siding with 1 1/2" to 3" flat trim.

# Charter Commercial, Mixed Use & Multifamily

## Double-hung windows

1. Upper story windows, and windows in residential spaces on any level should be operable.
2. Casement and awning windows are appropriate in circumstances where the window sill is higher than typical, such as in bathrooms or over a counter top.
3. Double-hung windows are the most common and are appropriate in most circumstances.
  - a. Muntin divisions should result in individual panes (also called *lites/lights*) with a vertical proportion, rather than being square or horizontal.
  - b. Vary the number of divisions in differently-sized windows in order to maintain a similar pane proportion from one window to the next rather than maintaining the same number of divisions for every window.
4. Operable shutters are preferred for protection from storm-borne debris as well as their functionality in maintaining privacy and reducing solar gain while windows are open in nice weather.
  - a. Shutters should always be sized (whether operable or not) so that they would fully cover the window when closed.
  - b. Mulled windows should not have shutters alongside them unless each shutter is sized to cover half of the mulled unit.
5. Operable Bermuda shutters are a great solution in coastal environments to protect from hot sun and storm-borne debris.
  - a. Bermuda shutters should be sized to overlap the window by at least 1" on all sides.



# Charter Commercial, Mixed Use & Multifamily

## Building details

### Railing Styles details



**Cable Railing**  
Contemporary style of railing with high visibility and horizontal emphasis



**Decorative Railing**  
Transitional style of railing with low visibility and horizontal emphasis



**Plank Railing**  
Rustic style of railing with low visibility and horizontal emphasis



**Picket Railing**  
Traditional style of railing with vertical emphasis, picket styles vary

### Column Styles



**Doric Column**  
Classical style



**Square Column**  
Simple style, tapered sides shown above



**Double Columns on plinths**  
Contemporary style. Plinths can be wood or masonry



**Square Column**  
Simple style, shown with brackets above

### Bracket Styles



**Ornate Bracket**



**Simple Bracket**



## Charter Public Space

The Charter sub-district is intended to be a little more conventional in its pattern of development, though it should still be a pleasantly walkable place. Connections between developments and connections to the adjacent subdistricts are the primary focus.

Intersections of primary roadways and the focal points of developments within the sub-district are the main opportunities for amenity spaces and community assets.

The following public space types are appropriate to use in the Charter sub-district.



## Squares



*Mid-block Square*

1. Located along paved walkway, between 2 businesses
2. Business adjacent may use squares.
3. Square minimum size 60' x 80'
4. Square paving to reflect heat, not light.
5. Color to contrast adjacent paving or groundcover
6. Square amenities may vary, at a minimum, provide shaded seating



*Intersection Square*

1. Located at the nexus of adjacent sub-districts.
2. Vehicular traffic surrounds the square.
3. Maintain a buffer between vehicular traffic outside of square and pedestrians inside square.
4. Suitable buffers are a continuous row of trees, planters, and/or on-street parking

## Greenbelts



*Greenbelt Path*

1. Gently meandering path.
2. Greenbelts widen at building entrances.
3. Benches, trash receptables, and water fountains shall be regularly spaced along the greenbelt.



*Greenbelt Activity Node*

1. Activity nodes are to be set back from the path, while remaining visible from the R.O.W.
2. Activity nodes should offer various options for visitors:
3. Exercise equipment.
4. Rest areas.
5. Scenic looks.
6. Picnic venues.
7. Bike repair stations.

# Charter Public Space

## Parks



*Pocket Parks*

1. Located within the open space of one lot
2. Typically between 100 - 200 sq. ft.
3. These small parks are most useful on lots with multiple residences.
4. Paving at perimeter of space should be of contrasting color.
5. Seating and plants are common amenities here



*Neighborhood Playgrounds*

1. Located within or near large public space.
2. Neighborhood playgrounds must be visible from the right-of-way.
3. Provide non-opaque fencing that is continuous and secured around the perimeter.
4. Seating, water fountains, and trash receptacles are common amenities to include



*Dog Parks*

1. Continuous Fencing around dog parks.
2. Bull fencing and picket fencing are acceptable styles.
3. Planting at base of fence is encouraged, to eliminate burrowing.
4. When possible, provide water fountain for pets
5. The groundcover should be artificial turf or seeded grass.
6. A trash container should be provided for collection of animal waste.



*Fitness stations*

1. Paving should be soft and durable, rubber mats are typical.
2. Paving color should have a low heat reflectivity
3. Plaza paving to reflect heat, not glare. Color to contrast adjacent paving or groundcover
4. Plaza amenities may vary, at a minimum, provide shaded seating and paved walking paths

## Amenities



*Area of concentrated amenities including shaded bike racks, drinking fountains, and trash receptacles.*



*Benches placed across from each other for social interaction*

# Charter Public Right-of-Way

## Local streets

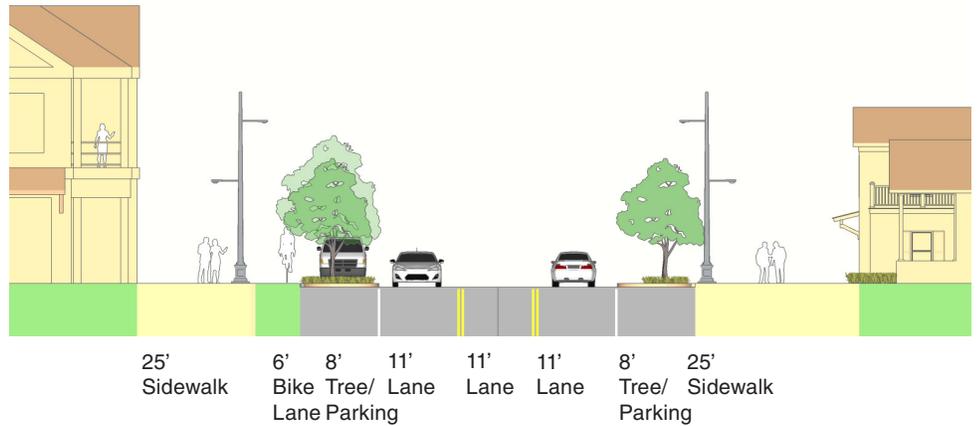
### Interior Streets

1. Sidewalks are sized to accommodate pedestrian movement as well as pedestrian oriented amenities such as seating area and outdoor dining
2. The bicycle lane is protected from traffic by a row of parallel parking and trees
3. The center lane is for turning vehicles and may be upgraded to a planted median as required
4. The parallel parking lane is used to accommodate tree wells at regular intervals of 2 to 3 parking spaces
5. Trees shall be placed at regular intervals and of a species sized to provide continuous shade to pedestrians
6. Lighting shall be provided for both vehicular and pedestrian paths; lighting shall be no cooler than 3000K in color temperature and provide a CRI of 80 or better

Charter District

Interior Streets

Charter District



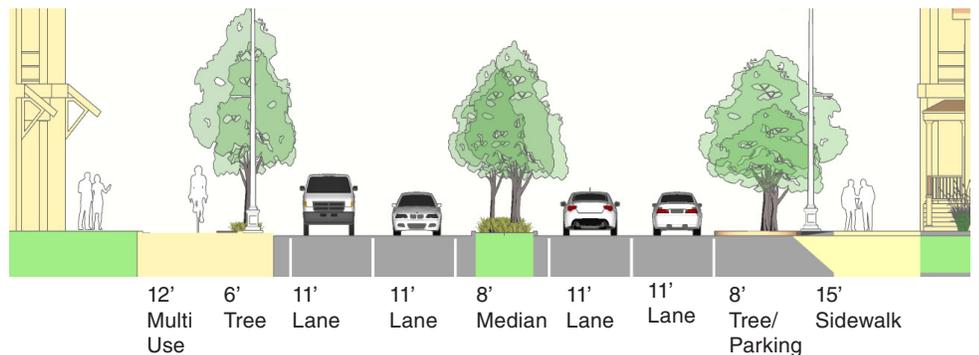
## Center Station - Charter Boundary

1. The lower density development of the Charter sub-district allows for a wide multi-use path that accommodates both pedestrians and cyclists along a pleasant, meandering path
2. The 2 travel lanes exiting the development allow for morning rush traffic to more effectively stack at Caratoke Highway
3. Parallel parking, and generous sidewalks help establish the pedestrian-friendly, retail-oriented nature of the Charter sub-district

Charter Sub-District

Public Collector A

Center Station Sub-District



# Charter Public Right-of-Way

## Pedestrian paths

1. Pedestrian paths within Charter may serve several uses.
2. Where there is little commercial activity, it is appropriate to designate a bike lane along the pedestrian path.
3. Bike lanes are to be painted in a contrasting color with the adjacent pavement.
4. Pedestrian paths crossing a street are to be raised when in the middle of a block.
5. Pedestrian path lighting shall be continuous and even.
6. Pedestrian multi-use paths shall gently meander in locations where the building setback exceeds 20'.



Charter - Interior Streets

20'



Center Station - Charter Boundary

2'

12'

6'

The following pages provide examples of building massing and architectural styles that are compatible with the Currituck Station design intent. Designers are not expected to copy these, only to use them as a guide towards their own compatible designs.

## Cypress Development Principles

The Cypress sub-district forms the low density, single-family residential development of the Currituck Station District. To support the residences in this sub-district, small, neighborhood-serving commercial and office uses are permitted. These non-residential uses may be provided when adjacent to or fronting a collector street or arterial street.

To maintain the residential, family-oriented nature of Cypress, parking garages should be set back, towards the interior of the lot. Development is designed to support the residential nature of the sub-district. Small office and retail shall use vegetated buffers to screen off-street parking, mechanical equipment, trash enclosures, and other non-residential features. An interconnected network of sidewalks, multi-use paths, public spaces, and parks provide access to the mix of uses found throughout the sub-district.

Cypress is the low-density family sub-district of Currituck Station, in order to present a welcoming and safe environment to the families here, landscape and buffer enhancements are encouraged.



### Dimensions

The allowable dimensions for the Center Station sub-district are designated in the Currituck Unified Development Ordinance.

### Allowable uses

This is an abbreviated table of uses for reference only. For a current and complete table of uses, see the Unified Development Ordinance

Residential Uses	Commercial Uses	Industrial Uses	Civic Uses
Single Family (Attached) Duplex	Neighborhood-serving retail Office	None	Community-serving amenities Education Government



# Cypress Commercial Development

Commercial development in the Cypress sub-district is limited to neighborhood serving retail and services. These buildings should not dramatically stand out from the neighborhood houses in either style or scale. Small to medium sized, residential-type buildings are adaptable enough to suit the needs of the variety of businesses which are needed to support daily life, while not being so out of character for the neighborhood that they are not identified as being part of it.

If drive-through retail is necessary for the business occupying the building, then the drive-through lanes and canopies should be placed at the rear of the building, out of sight of the primary street frontage. The canopies should be of a similar roof type to the primary building, matching either the main roof or the porch roof construction.

Additions such as drive-through canopies and garage doors support the more auto-oriented nature of the Charter sub-district. These additions should be placed at the rear of the building to maintain a pedestrian oriented front.

## Building massing

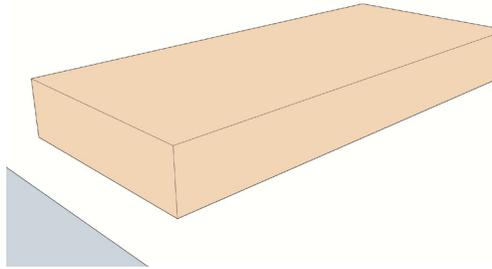


# Cypress Commercial Development

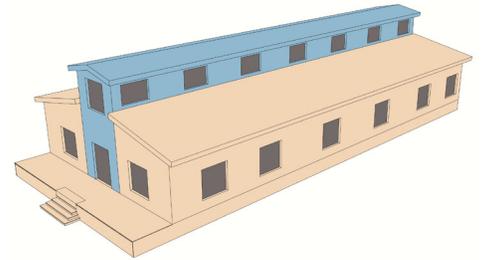
## Small 2-story building

### Clerestory building

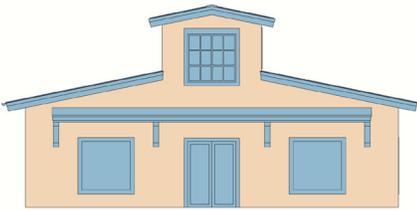
1. Use features such as clerestories to give a small building a 2-story appearance. The second floor may or may not be occupied.
2. Simple details give the building a pedestrian-friendly facade while keeping costs low.



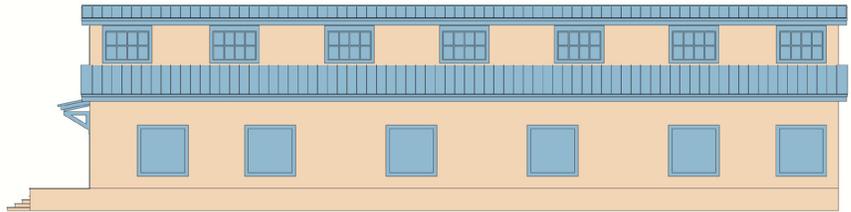
*A 1-story building program in a rectangular footprint. A 1-story building can only be accommodated if the facade is at least 20' tall giving a 2-story appearance.*



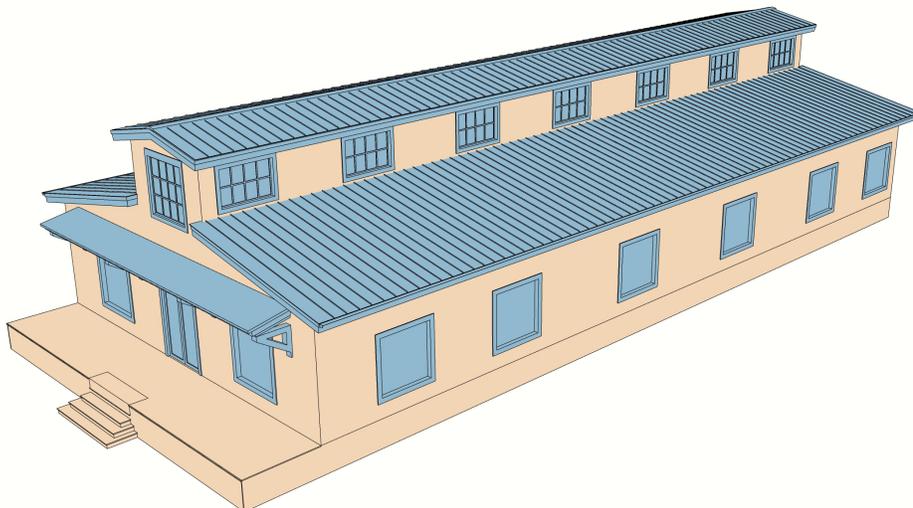
*Adding a clerestory gives the building a usable 2nd story for offices or studio apartments. Alternatively, the clerestory can be used to provide additional natural light and an airy feeling to the 1st floor space while meeting the 20' building height requirement.*



*A front facade with doors and generous windows centered on bays is functional and pedestrian friendly. The width of the clerestory section can be adjusted to suit the building program needs.*



*Ground floor side windows near the street are necessary to maintain visual permeability of the street frontage. Side windows towards the rear of the building are optional, but encouraged.*



*A small, simple fixed awning with support brackets and simple trim profiles add detail to the building and give it a coastal appearance.*

# Cypress Commercial Development

## 1. Roof

Standing seam metal due to low pitch

## 2. Trim

Simple profile, multi-layered

## 3. Cladding

Board & batten, cedar shake, or cementitious clapboard

## 4. Clerestory windows

Divided lite, clear glass windows

## 5. Awning

Metal or wood with simple brackets

## 6. Railings

Metal or wood

## 7. Doors

Metal or wood storefront

## 8. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 9. Decking

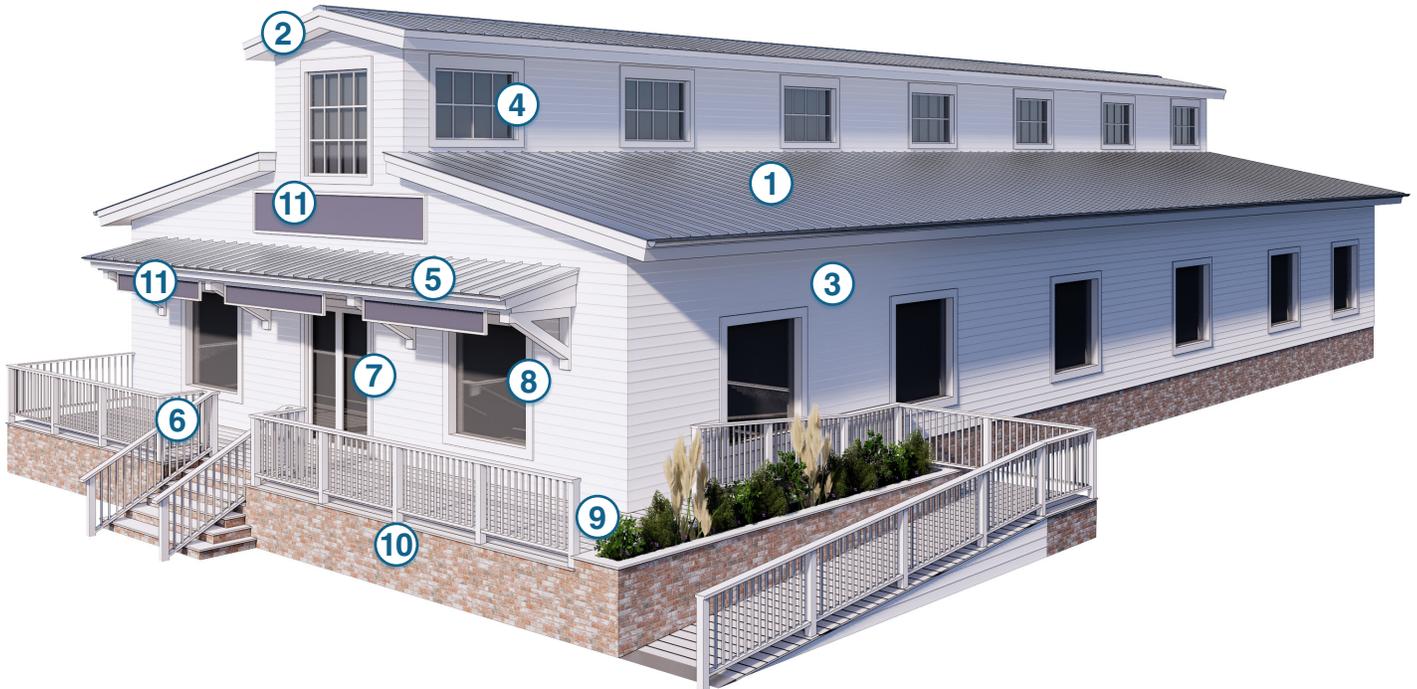
Wood (rot resistant)

## 10. Foundation

Brick, wood slat, cast-in-place concrete

## 11. Sign boards

Wood, metal, or composite with raised perimeter



Local Pie in Bluffton, SC



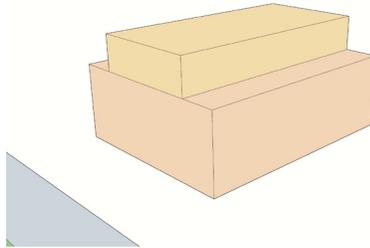
The Hitching Post (The Spry Store) in Currituck, NC

# Cypress Commercial Development

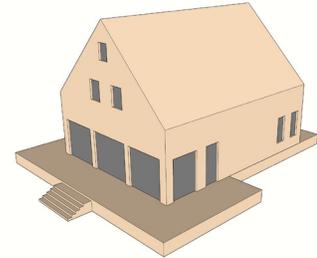
## Small 2-story building

### A-Frame with Porch

1. An iconic building form along the eastern seaboard, the A-frame is easy to construct, weathers storm events, and provides ample floor space while presenting a compact facade to the public.
2. A deep wrap-around porch shades the windows from hot summer sun and makes an inviting place for customers to enjoy.



A 2-story building program in a rectangular footprint.



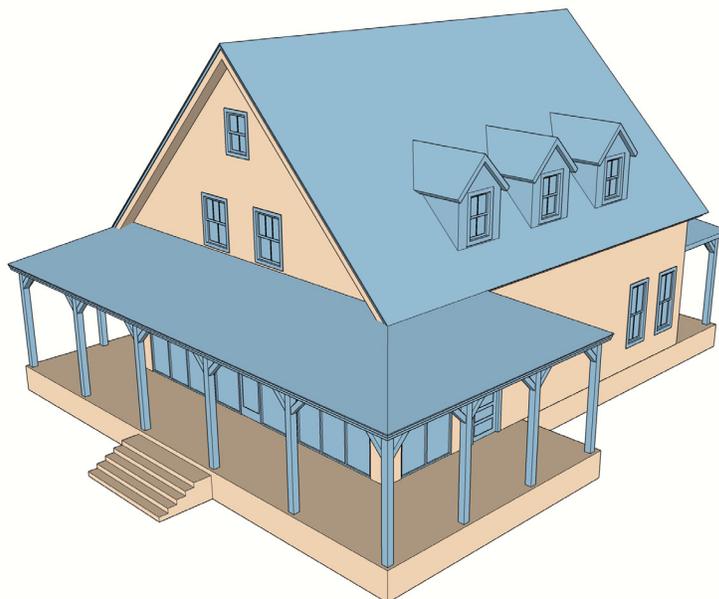
A steeply pitched roof encompasses the entire upper story.



A front facade with storefront glazing and transom windows allows natural light into the lower story space and invites pedestrians in.



Dormers let light into the upper story space and provide additional floor space. If the upper story is to be occupied by a different tenant, or is for a residential use, then a separate side entry can be added.



Straight or braced columns support the deep porch. Dormers can be separate or combined into one large dormer.

# Cypress Commercial Development

## 1. Roof

Cedar shingle, architectural shingle, or standing seam metal

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Divided lite, clear glass windows

## 4. Porch roof

Cedar shingle, standing seam metal, or architectural shingle

## 5. Columns and brackets

Painted wood or composite wood

## 6. Ground floor windows

Metal or wood storefront with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

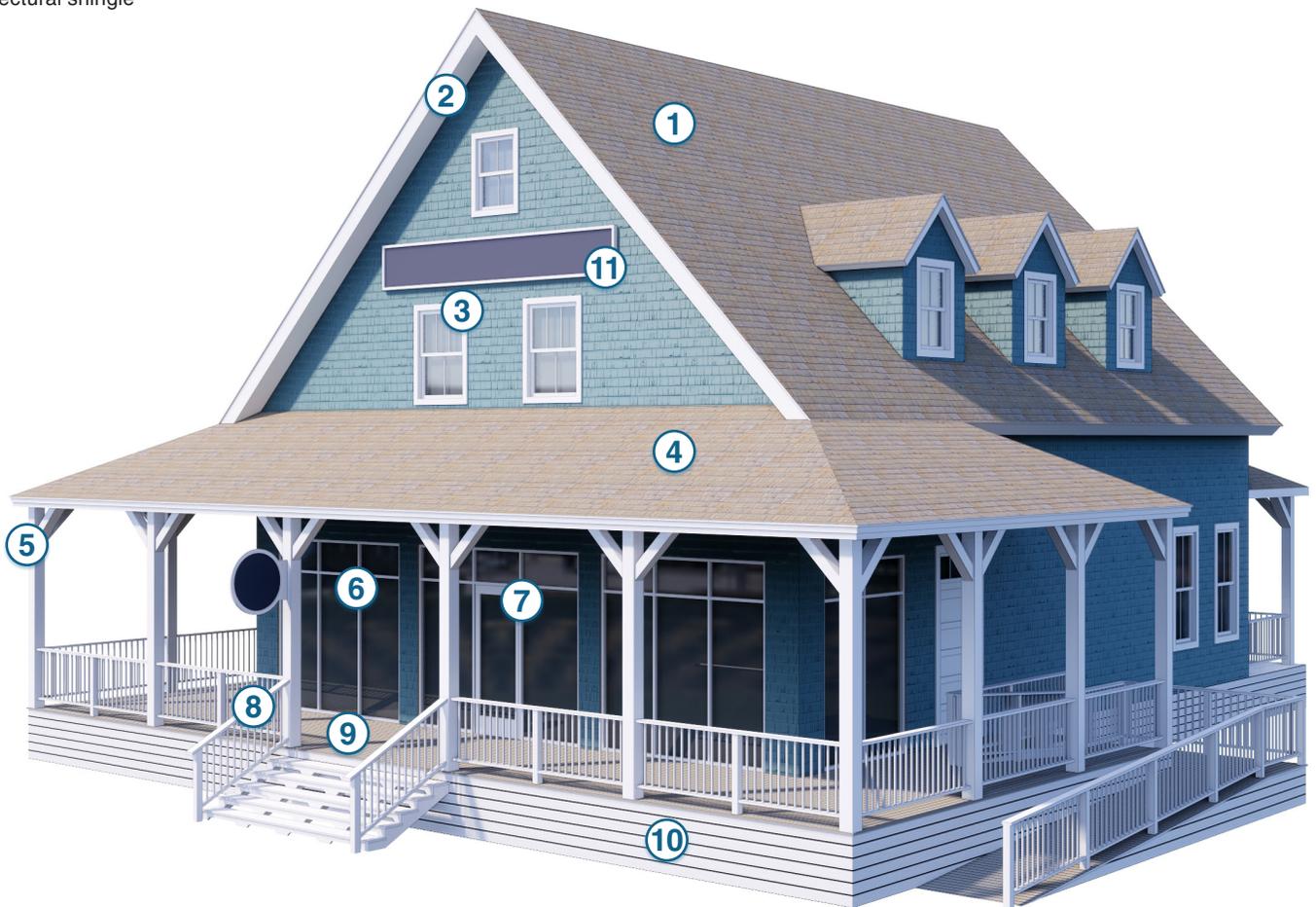
Wood (rot resistant), or composite wood.

## 10. Foundation skirt

Painted wood (rot resistant) or painted PVC

## 11. Sign board

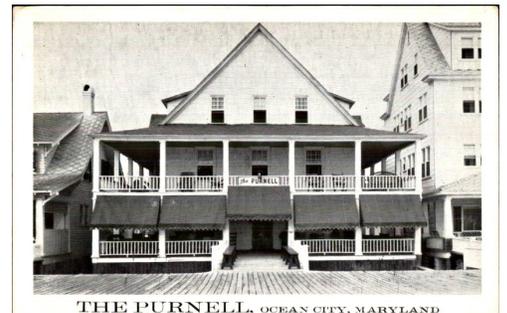
Wood, metal, or composite with raised perimeter



*Caffey's Inlet Lifesaving Station  
in Dare County, NC*



*Seatack Station, Virginia Beach, VA*



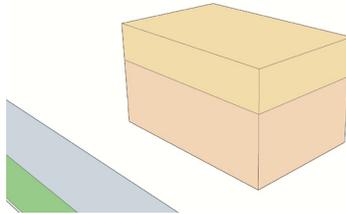
*The Purnell Hotel, Ocean City, MD*

# Cypress Commercial Development

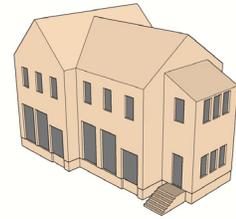
## Medium 2-story building

### L-shaped

1. Use gable ends to break up longer facades and create the appearance of a series of smaller masses.
2. Simple details give the building a pedestrian friendly facade while keeping construction costs low.



A 2-story building program in a rectangular broadfront footprint.



Adding a gable end breaks up the building facade and provides multiple distinct storefronts.



Storefront windows and doors allow pedestrians to see into the ground floor spaces. A stair and elevator tower on the end of the building gives private access to the upper story if desired.



A drive-through canopy added to the rear of the building allows auto-oriented uses to occupy the building while maintaining the vernacular character.



Awnings with brackets and shutters protect the windows from sun and rain.

# Cypress Commercial Development

## 1. Roof

Standing seam metal, cedar shingle, or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or painted PVC

## 3. Cladding

Wood clapboard, cedar shake, or cementitious clapboard, brick

## 4. Upper story windows

Double hung, true or simulated divided lites, clear glass windows

## 5. Shutters

Wood or fiberglass, 1/2 width and full height of window, operable louvered or solid shutters

## 6. Awning

Metal or wood with simple brackets

## 7. Doors

Metal or wood storefront with transoms and clear glass.

## 8. Ground floor windows

Metal or wood storefront with transoms. Wood, metal, or painted PCV paneling

## 9. Foundation

Brick, cast-in-place concrete, or parged CMU

## 10. Residential door

Wood, metal, or fiberglass entry door

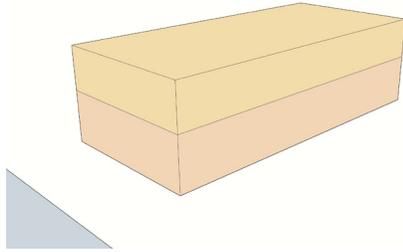


# Cypress Commercial Development

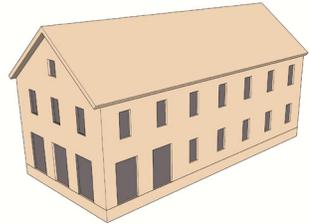
## Medium 2-story building

### Gable-front building

1. A classic and versatile building form lends itself well to a vertical mix of uses.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



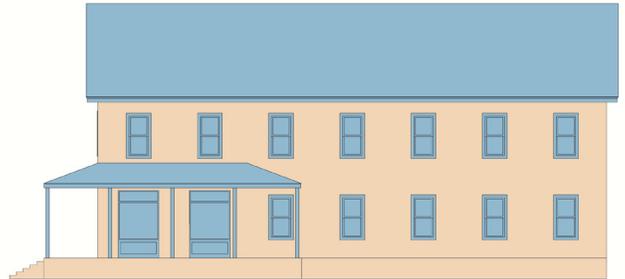
A 2 to 3-story building program in a rectangular footprint.



A gable above the upper story makes an easy-to-construct, adaptable, and durable building.



Minimal overhangs are typical, but the eaves can be extended up to 3' or 4' with exposed rafter tails for a more Craftsman appearance.



Evenly spaced side windows on all levels produce usable light throughout the building.



The wraparound porch can be supported by simple square columns or brackets.

# Cypress Commercial Development

## 1. Roof

Cedar shingle, standing seam metal, or architectural shingle

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Single or divided lite, clear glass windows

## 4. Porch roof

Standing seam metal, or to match main roof

## 5. Columns and brackets

Painted wood or metal, 4"-8" square or round

## 6. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

Wood (rot resistant) or composite wood

## 10. Foundation skirt

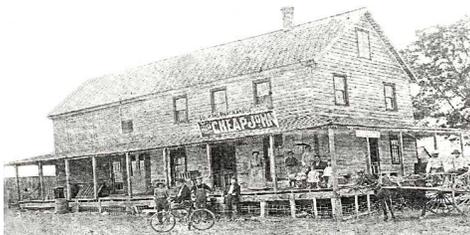
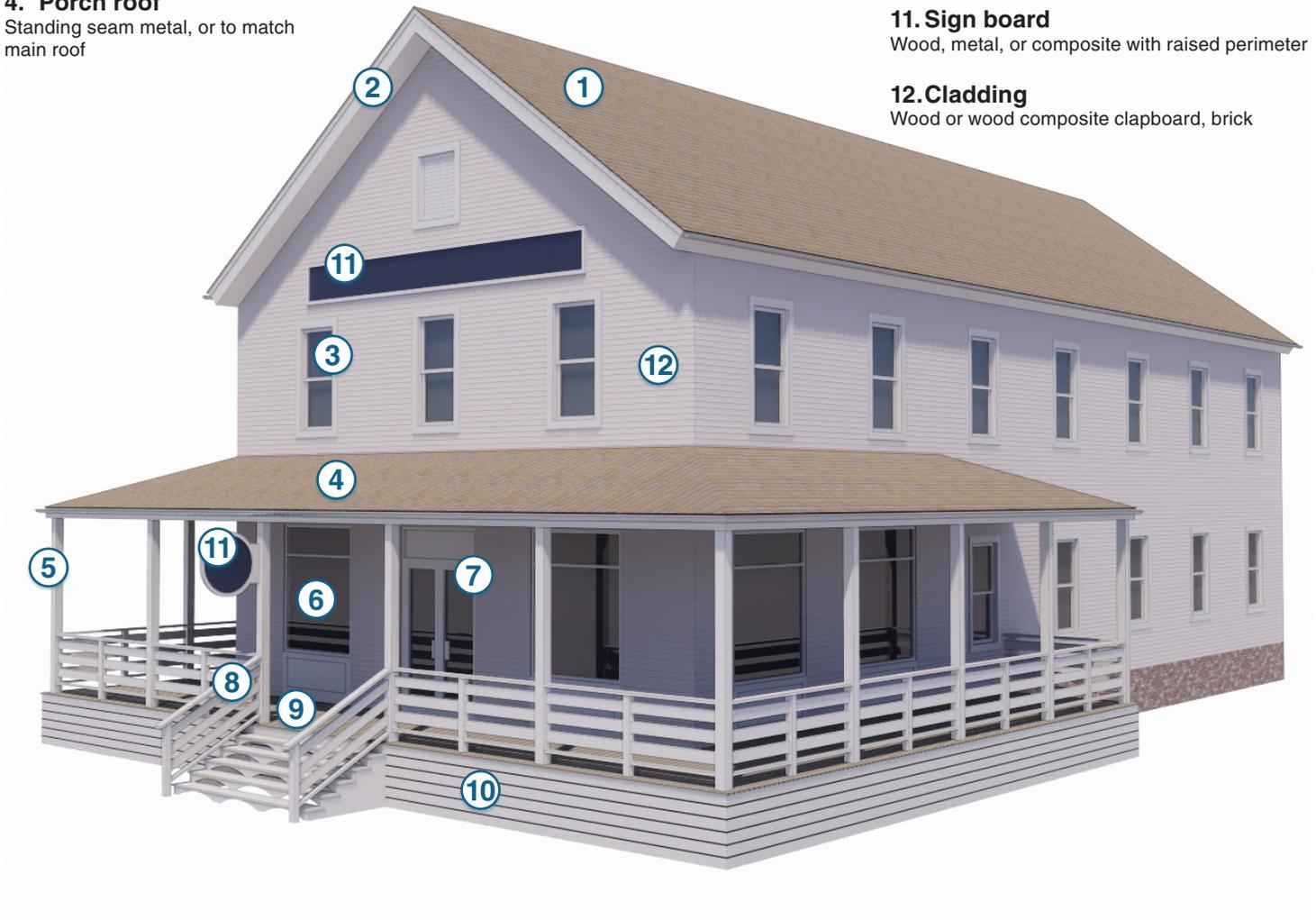
Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

## 11. Sign board

Wood, metal, or composite with raised perimeter

## 12. Cladding

Wood or wood composite clapboard, brick



Cheap John's Store, Currituck County, NC



Creekmore Brothers Store, Currituck County, NC



JM Roberts House, Currituck County, NC

# Cypress Commercial Development

## Building details

### Roof materials



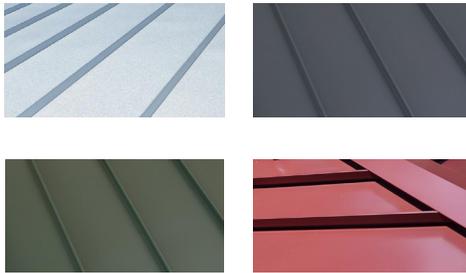
Architectural shingles. Dark green, medium brown, medium gray, or dark red in color.



Standing seam metal. 1 1/2" vertical seam with 12"-18" spacing. Silver metallic, medium gray, dark green, or dark red in color



Cedar or cypress shingles.



### Exterior cladding details



Full brick buildings as well as buildings that have brick foundations and clapboard or shingle cladding above are appropriate.



Wood or fiber cement clapboard siding in a variety of colors in whites, grays, earth tones, and pastels are appropriate. Exposures should be 8" or less.



Cedar shake or fiber cement simulated shake siding, stained, painted, or natural, is appropriate. Colors should be whites, grays, earth tones, or pastels.

### Windows and doors details



Doors and windows set in brick - recessed with brick mold with brick lintels or arches above and brick or wood/composite sills below.



Doors and windows set in clapboard siding with trim 3" to 6" in width. The door/window trim width should always be less than the width of the corner trim of the building.

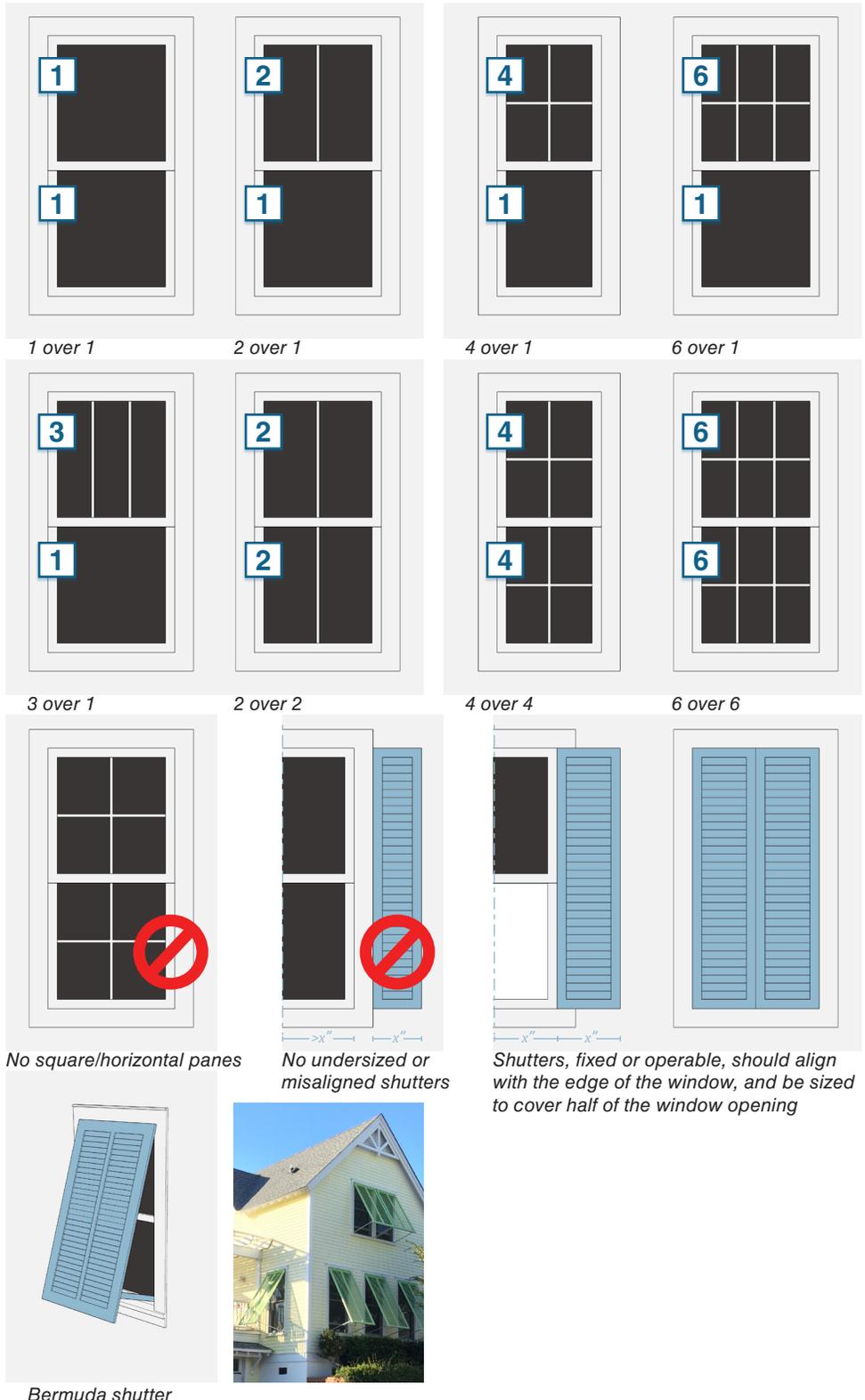


Doors and windows set in cedar or cypress shake siding with 1 1/2" to 3" flat trim.

# Cypress Commercial Development

## Double-hung windows

1. Upper story windows, and windows in residential spaces on any level should be operable.
2. Casement and awning windows are appropriate in circumstances where the window sill is higher than typical, such as in bathrooms or over a counter top.
3. Double-hung windows are the most common and are appropriate in most circumstances.
  - a. Muntin divisions should result in individual panes (also called *lites/lights*) with a vertical proportion, rather than being square or horizontal.
  - b. Vary the number of divisions in differently-sized windows in order to maintain a similar pane proportion from one window to the next rather than maintaining the same number of divisions for every window.
4. Operable shutters are preferred for protection from storm-borne debris as well as their functionality in maintaining privacy and reducing solar gain while windows are open in nice weather.
  - a. Shutters should always be sized (whether operable or not) so that they would fully cover the window when closed.
  - b. Mulled windows should not have shutters alongside them unless each shutter is sized to cover half of the mulled unit.
5. Operable Bermuda shutters are a great solution in coastal environments to protect from hot sun and storm-borne debris.
  - a. Bermuda shutters should be sized to overlap the window by at least 1" on all sides.



# Cypress Commercial Development

## Building details

### Railing Styles details



**Cable Railing**  
Contemporary style of railing with high visibility and horizontal emphasis



**Decorative Railing**  
Transitional style of railing with low visibility and horizontal emphasis



**Plank Railing**  
Rustic style of railing with low visibility and horizontal emphasis



**Picket Railing**  
Traditional style of railing with vertical emphasis, picket styles vary

### Column Styles



**Doric Column**  
Classical style



**Square Column**  
Simple style, tapered sides shown above



**Double Columns on plinths**  
Contemporary style. Plinths can be wood or masonry



**Square Column**  
Simple style, shown with brackets above

### Bracket Styles



**Ornate Bracket**



**Simple Bracket**

## Cypress Public space

The Cypress sub-district is intended to be suburban in its pattern of development, though it should still be a pleasantly walkable place. Connections between developments, public amenities, and recreation areas, and connections to the adjacent subdistricts are the primary focus of the public space.

Intersections of primary roadways and the focal points of developments within the sub-district are the main opportunities for amenity spaces and community assets.

The following public space types are appropriate to use in the Cypress sub-district.



# Cypress Public Space

## Amenities



*Area of concentrated amenities*



*Benches placed across from each other for social interaction*

## Mail collection areas



*Mail collection areas should be covered, complement the coastal vernacular architecture, and have a pull-off area large enough to accommodate at least 3 automobiles.*

## Squares



*Mid-block square*

1. Located along paved walkway, between 2 businesses
2. Business adjacent may use squares.
3. Square minimum size 60' x 80'
4. Square paving to reflect heat, not light.
5. Color to contrast adjacent paving or groundcover
6. Square amenities may vary, at a minimum, provide shaded seating



*Intersection square*

1. Located at the nexus of adjacent sub-districts.
2. Vehicular traffic surrounds the square.
3. Maintain a buffer between vehicular traffic outside of square and pedestrians inside square.
4. Suitable buffers are a continuous row of trees, planters, and/or on-street parking

## Greenbelts



*Greenbelt path*

1. Gently meandering path.
2. Greenbelts widen at building entrances.
3. Benches, trash receptables, and water fountains shall be regularly spaced along the greenbelt.



*Greenbelt activity node*

1. Activity nodes are to be set back from the path, while remaining visible from the R.O.W.
2. Activity nodes should offer various options for visitors:
3. Exercise equipment.
4. Rest areas.
5. Scenic looks.
6. Picnic venues.
7. Bike repair stations.

## Parks



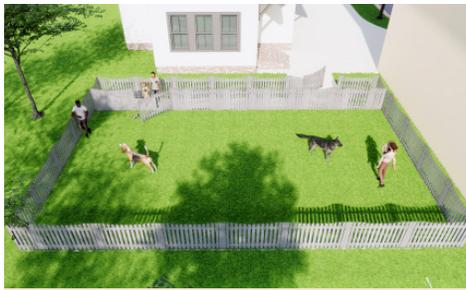
*Pocket Parks*

1. Located within the open space of one lot
2. Typically between 100 - 200 sq. ft.
3. These small parks are most useful on lots with multiple residences.
4. Paving at perimeter of space should be of contrasting color.
5. Seating and plants are common amenities here



*Neighborhood Playgrounds*

1. Located within or near large public space.
2. Neighborhood playgrounds must be visible from the right-of-way.
3. Provide non-opaque fencing that is continuous and secured around the perimeter.
4. Seating, water fountains, and trash receptacles are common amenities to include



*Dog Parks*

1. Fencing around dog park should be continuous.
2. Bull fencing and picket fencing are acceptable styles.
3. Planting at base of fence is encouraged, to eliminate burrowing.
4. When possible, provide water fountain for pets
5. The groundcover should be artificial turf or seeded grass.
6. A trash container should be provided for collection of animal waste.



*Fitness stations*

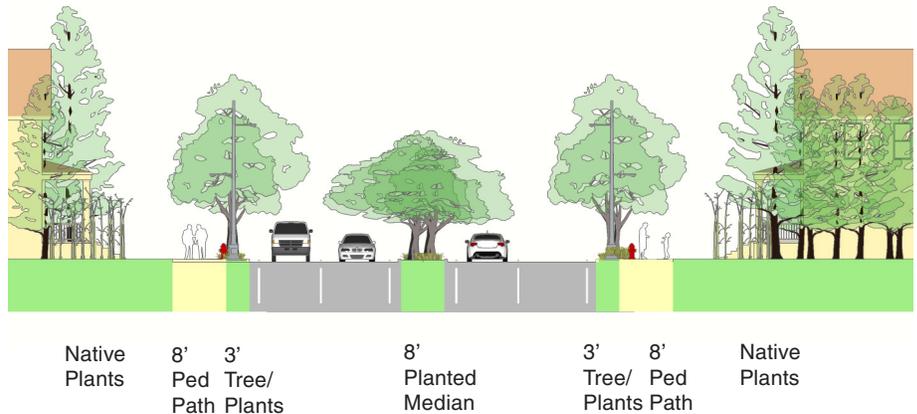
1. Paving should be soft and durable, rubber mats are typical.
2. Paving color should have a low heat reflectivity
3. Plaza paving to reflect heat, not glare. Color to contrast adjacent paving or groundcover
4. Plaza amenities may vary, at a minimum, provide shaded seating and paved walking paths

# Cypress Public Right-of-Way

## Local Streets

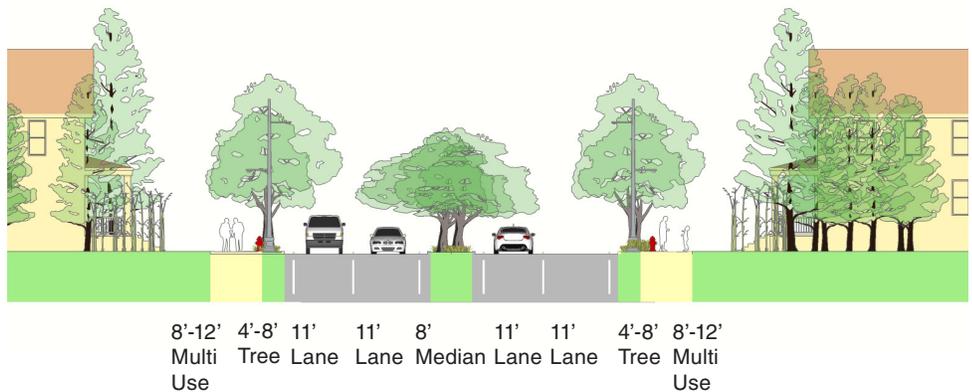
### Interior Streets

1. Sidewalks are protected from traffic by a row of trees.
2. A central median, planted with trees, provide a shaded roadway as well as traffic-calming.
3. 2 travel lanes may be utilized to as needed to facilitate commuter traffic.
4. Outer travel lane may be marked for parking in front of commercial uses as needed.
5. Trees shall be placed at regular intervals and of a species sized to provide continuous shade to pedestrians
6. Lighting shall be provided for both vehicular and pedestrian paths; lighting shall be no cooler than 3000K in color temperature and provide a CRI of 80 or better



## Arterials

1. The lower density development of the Cypress sub-district allows for a wide multi-use path that accomodates both pedestrians and cyclists along a pleasant, meandering path
2. Parking for individual lots can be handled on-site
3. The 4 total lanes are divided by a central median to create a continuous tree canopy.



# Cypress Public Right-of-Way

## Pedestrian paths

1. Pedestrian paths are multi-use.
2. Pedestrian path should have porous paving to facilitate drainage.
3. Pedestrian path street crossings shall be raised, colored to contrast adjacent road.
4. Pedestrian paths shall be continuously lit.
5. Pedestrian multi-use paths may gently meander.
6. Where driveways interrupt pedestrian paths, pedestrian path must be indicated with contrasting pavement.
7. Driveway pavement should be permeable.
8. The maximum driveway apron width is 24'

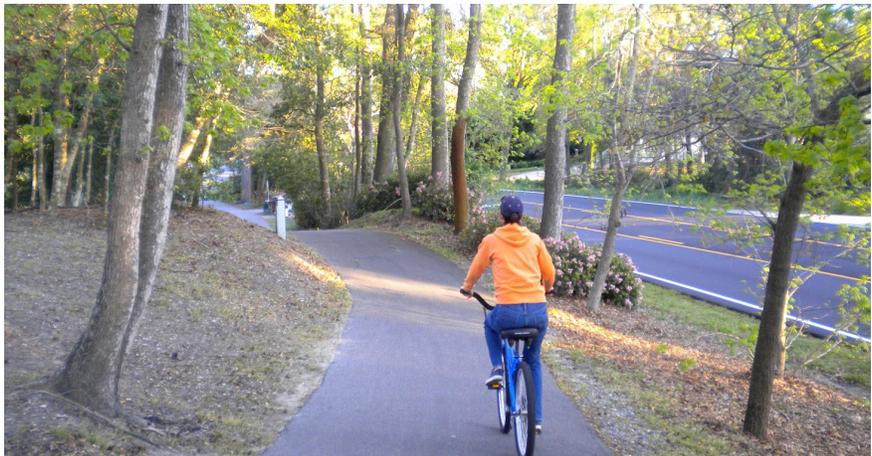


Cypress - Interior Street Option A

8'



Cypress - Driveways at pedestrian paths



Corolla Greenway is an example of a good pedestrian path.

The following pages provide examples of building massing and architectural styles that are compatible with the Currituck Station design intent. Designers are not expected to copy these, only to use them as a guide towards their own compatible designs.

# Junction & Newtown Development Principles

## Development principles

The Junction and Newtown sub-districts support the district through residential, single-family, detached development. The Junction sub-district is an existing residential development. Newtown will be developed in a similar manner. Limited single family attached and multi-use development is permitted.

To maintain the family-oriented nature of Junction and Newtown, mixed use and single-family attached development is encouraged along collectors and arterial streets. Single-family detached residential will be developed within the interior of the sub-district. Non-residential development is designed to support residents by placing buildings close to the street with active and public uses on the ground floor and pedestrian entrances accessed from the street. An interconnected network of sidewalks, multi-use paths, public spaces, and parks provide access to the mix of uses found throughout the sub-district.

Junction, as it is currently developed, is a low density residential sub-division. Typically these developments require paving new roads, resulting in the need to store stormwater in ponds on-site. In order to provide a healthy, and active place for the public, large developments are encouraged to provide pedestrian paths and site amenities around landscaped retention ponds.



## Dimensions

The allowable dimensions for the Junction/Newtown sub-district are designated in the Currituck Unified Development Ordinance.

## Allowable uses

This is an abbreviated table of uses for reference only. For a current and complete table of uses, see the Unified Development Ordinance

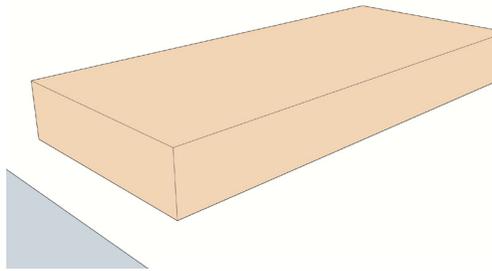
Residential Uses	Commercial Uses	Industrial Uses	Civic Uses
Single Family (Attached) Multifamily	Neighborhood-serving retail Restaurant Office	None	Community-serving amenities Education Government

# Junction & Newtown Commercial Development

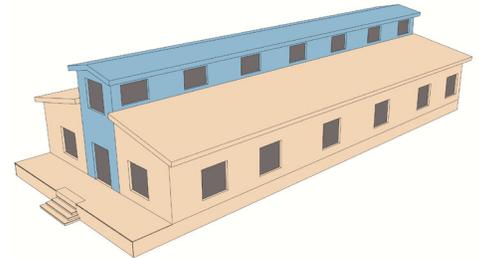
## Small 2-story building

### Clerestory building

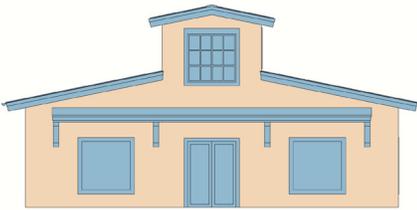
1. Use features such as clerestories to give a small building a 2-story appearance. The second floor may or may not be occupied.
2. Simple details give the building a pedestrian-friendly facade while keeping costs low.



*A 1-story building program in a rectangular footprint. A 1-story building can only be accommodated if the facade is at least 20' tall giving a 2-story appearance.*



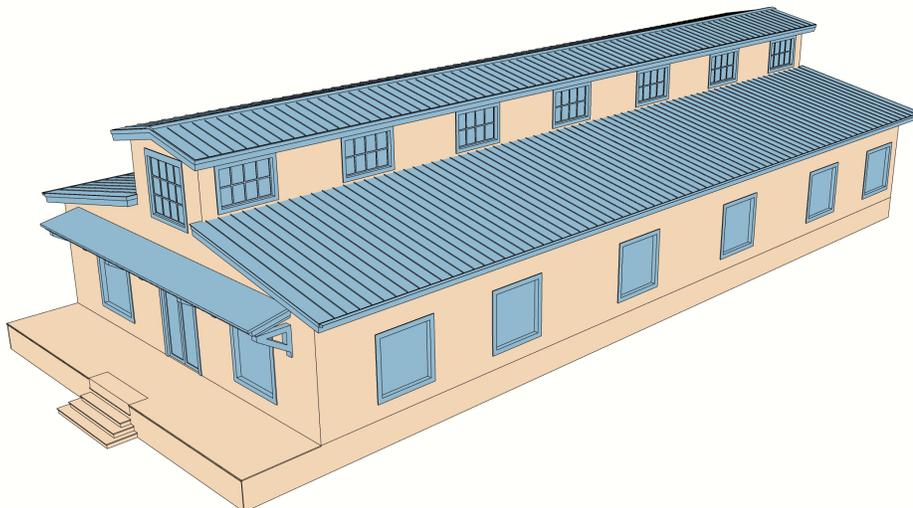
*Adding a clerestory gives the building a usable 2nd story for offices or studio apartments. Alternatively, the clerestory can be used to provide additional natural light and an airy feeling to the 1st floor space while meeting the 20' building height requirement.*



*A front facade with doors and generous windows centered on bays is functional and pedestrian friendly. The width of the clerestory section can be adjusted to suit the building program needs.*



*Ground floor side windows near the street are necessary to maintain visual permeability of the street frontage. Side windows towards the rear of the building are optional, but encouraged.*



*A small, simple fixed awning with support brackets and simple trim profiles add detail to the building and give it a coastal appearance.*

# Junction & Newtown Commercial Development

## 1. Roof

Standing seam metal due to low pitch

## 2. Trim

Simple profile, multi-layered

## 3. Cladding

Board & batten, cedar shake, or cementitious clapboard

## 4. Clerestory windows

Divided lite, clear glass windows

## 5. Awning

Metal or wood with simple brackets

## 6. Railings

Metal or wood

## 7. Doors

Metal or wood storefront

## 8. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 9. Decking

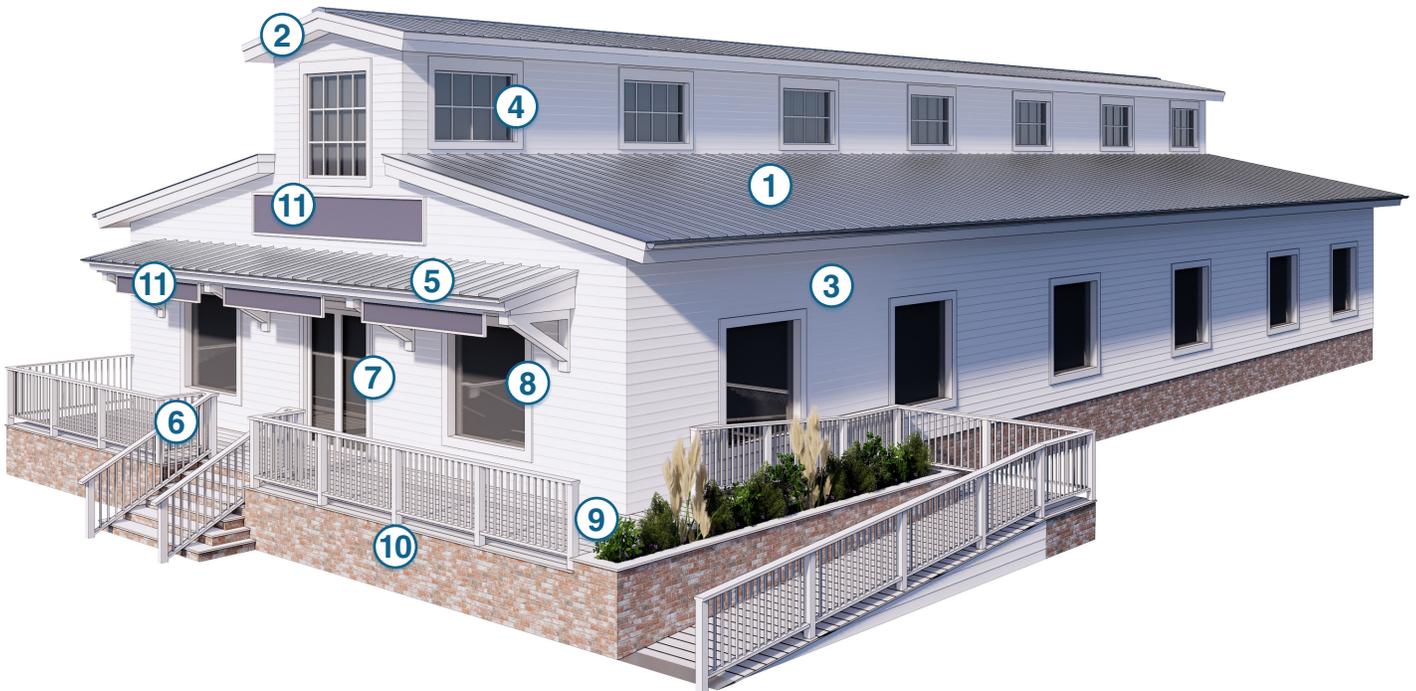
Wood (rot resistant)

## 10. Foundation

Brick, wood slat, cast-in-place concrete

## 11. Sign boards

Wood, metal, or composite with raised perimeter



Local Pie in Bluffton, SC



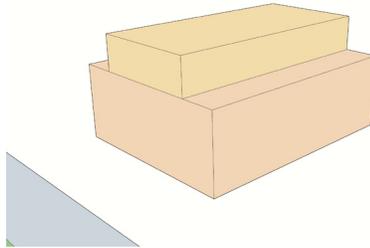
The Hitching Post (The Spry Store) in Currituck, NC

# Junction & Newtown Commercial Development

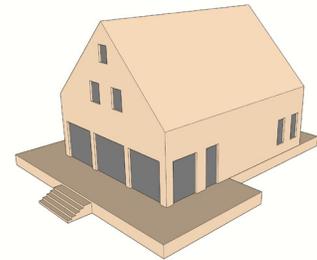
## Small 2-story building

### A-Frame with Porch

1. An iconic building form along the eastern seaboard, the A-frame is easy to construct, weathers storm events, and provides ample floor space while presenting a compact facade to the public.
2. A deep wrap-around porch shades the windows from hot summer sun and makes an inviting place for customers to enjoy.



A 2-story building program in a rectangular footprint.



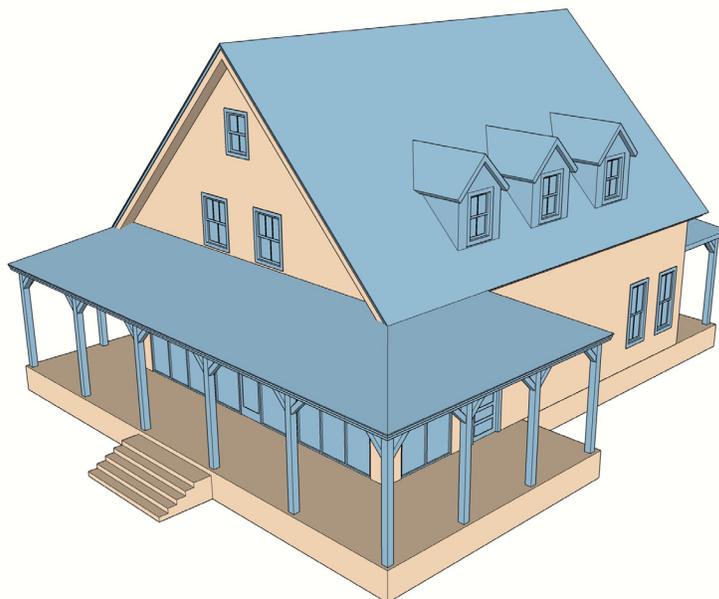
A steeply pitched roof encompasses the entire upper story.



A front facade with storefront glazing and transom windows allows natural light into the lower story space and invites pedestrians in.



Dormers let light into the upper story space and provide additional floor space. If the upper story is to be occupied by a different tenant, or is for a residential use, then a separate side entry can be added.



Straight or braced columns support the deep porch. Dormers can be separate or combined into one large dormer.

# Junction & Newtown Commercial Development

## 1. Roof

Cedar shingle, architectural shingle, or standing seam metal

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Divided lite, clear glass windows

## 4. Porch roof

Cedar shingle, standing seam metal, or architectural shingle

## 5. Columns and brackets

Painted wood or composite wood

## 6. Ground floor windows

Metal or wood storefront with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

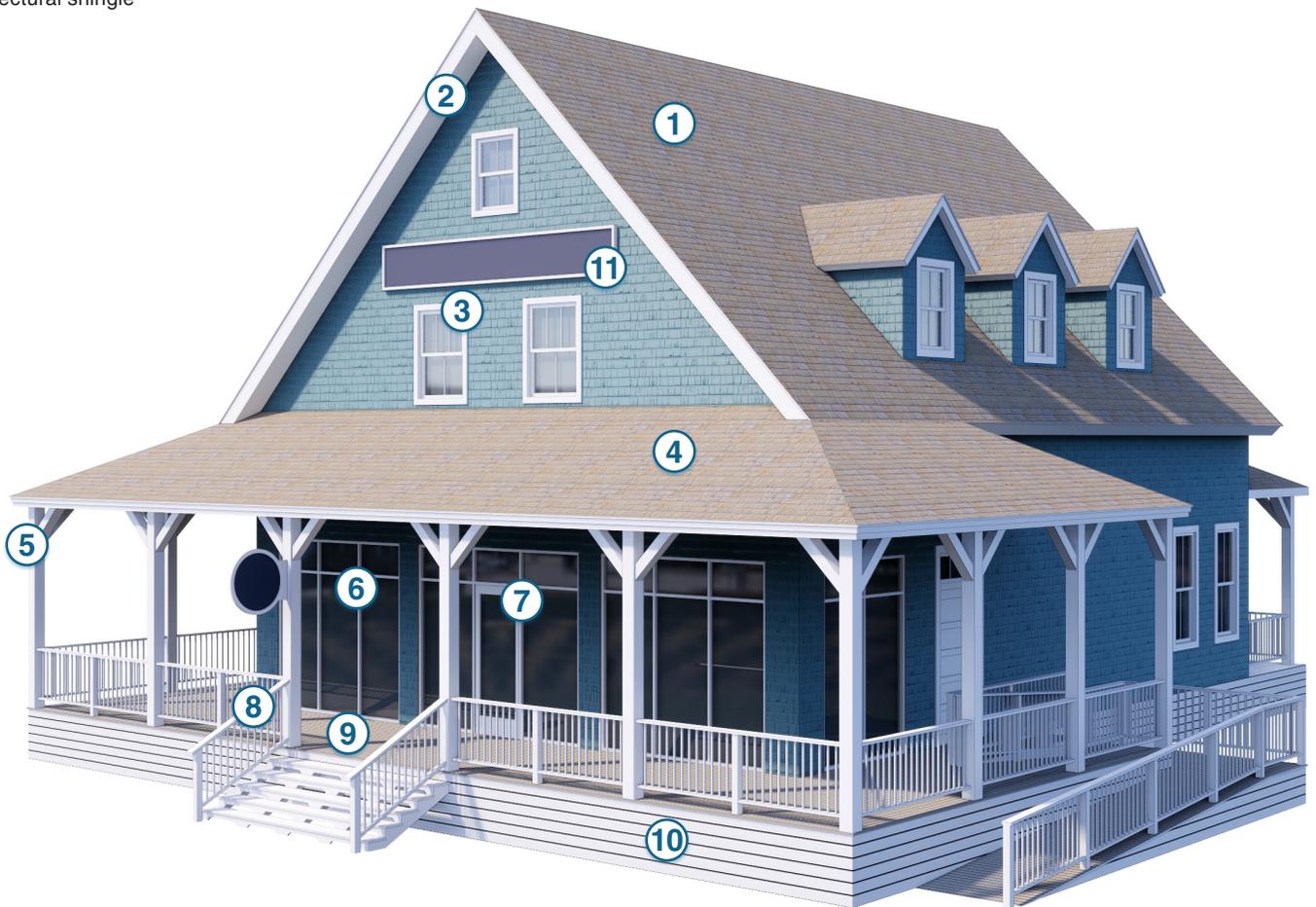
Wood (rot resistant), or composite wood.

## 10. Foundation skirt

Painted wood (rot resistant) or painted PVC

## 11. Sign board

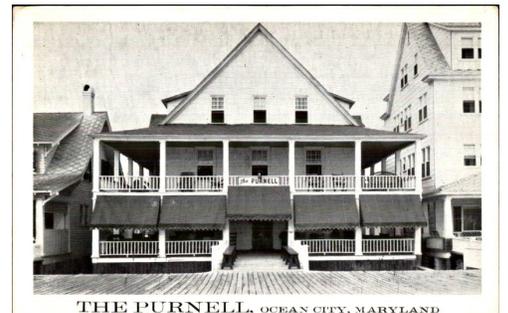
Wood, metal, or composite with raised perimeter



*Caffey's Inlet Lifesaving Station  
in Dare County, NC*



*Seatack Station, Virginia Beach, VA*



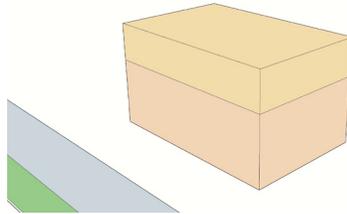
*The Purnell Hotel, Ocean City, MD*

# Junction & Newtown Commercial Development

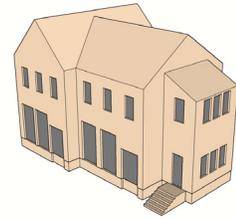
## Medium 2-story building

### L-shaped

1. Use gable ends to break up longer facades and create the appearance of a series of smaller masses.
2. Simple details give the building a pedestrian friendly facade while keeping construction costs low.



A 2-story building program in a rectangular broadfront footprint.



Adding a gable end breaks up the building facade and provides multiple distinct storefronts.



Storefront windows and doors allow pedestrians to see into the ground floor spaces. A stair and elevator tower on the end of the building gives private access to the upper story if desired.



A drive-through canopy added to the rear of the building allows auto-oriented uses to occupy the building while maintaining the vernacular character.



Awnings with brackets and shutters protect the windows from sun and rain.

# Junction & Newtown Commercial Development

## 1. Roof

Standing seam metal, cedar shingle, or architectural shingle

## 2. Trim

Simple profile, multi-layered wood or painted PVC

## 3. Cladding

Wood clapboard, cedar shake, or cementitious clapboard, brick

## 4. Upper story windows

Double hung, true or simulated divided lites, clear glass windows

## 5. Shutters

Wood or fiberglass, 1/2 width and full height of window, operable louvered or solid shutters

## 6. Awning

Metal or wood with simple brackets

## 7. Doors

Metal or wood storefront with transoms and clear glass.

## 8. Ground floor windows

Metal or wood storefront with transoms. Wood, metal, or painted PCV paneling

## 9. Foundation

Brick, cast-in-place concrete, or parged CMU

## 10. Residential door

Wood, metal, or fiberglass entry door

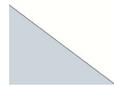
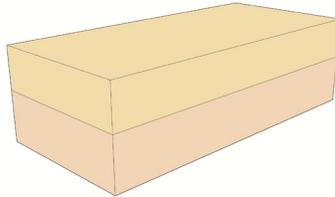


# Junction & Newtown Commercial Development

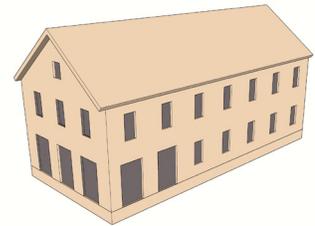
## Medium 2-story building

### Gable-front building

1. A classic and versatile building form lends itself well to a vertical mix of uses.
2. Simple details give the building a pedestrian friendly facade while keeping costs low.



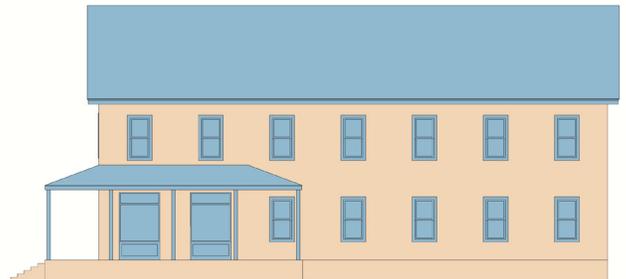
A 2 to 3-story building program in a rectangular footprint.



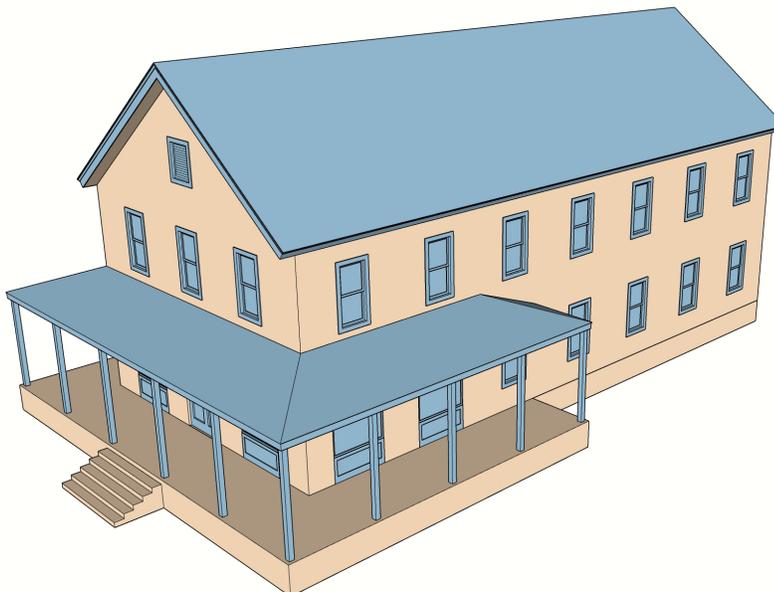
A gable above the upper story makes an easy-to-construct, adaptable, and durable building.



Minimal overhangs are typical, but the eaves can be extended up to 3' or 4' with exposed rafter tails for a more Craftsman appearance.



Evenly spaced side windows on all levels produce usable light throughout the building.



The wraparound porch can be supported by simple square columns or brackets.

# Junction & Newtown Commercial Development

## 1. Roof

Cedar shingle, standing seam metal, or architectural shingle

## 2. Trim

Simple profile, multi-layered

## 3. Upper story windows

Single or divided lite, clear glass windows

## 4. Porch roof

Standing seam metal, or to match main roof

## 5. Columns and brackets

Painted wood or metal, 4"-8" square or round

## 6. Ground floor windows

Metal or wood storefront or folding glass windows with clear glass

## 7. Doors

Metal or wood storefront with clear glass

## 8. Railings and stairs

Painted wood

## 9. Decking

Wood (rot resistant) or composite wood

## 10. Foundation skirt

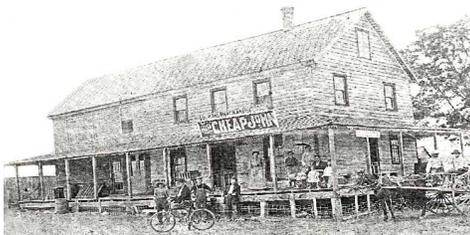
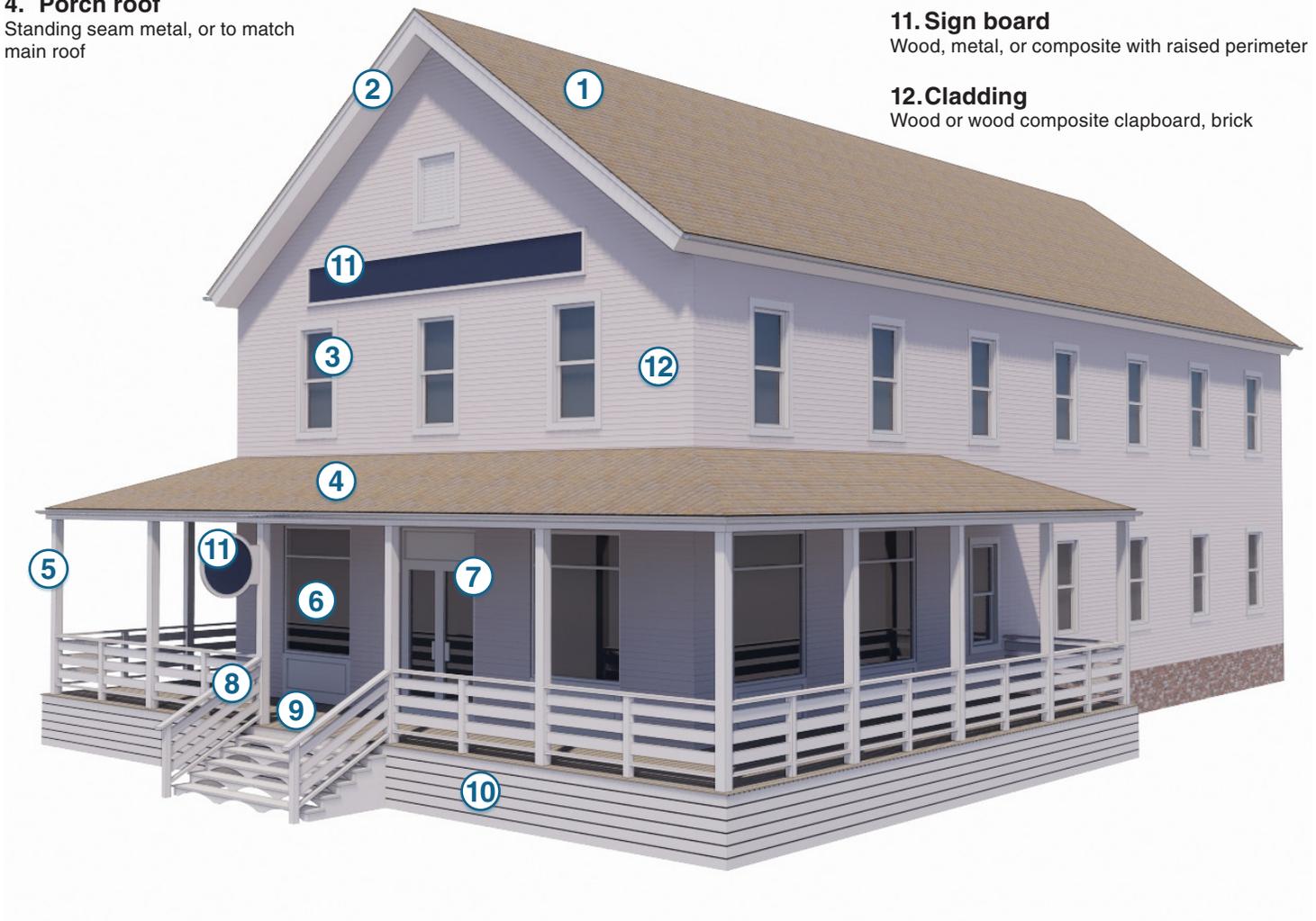
Painted wood (rot resistant) or painted PVC at the porch. Brick, cast in place concrete, or parged CMU at the main structure.

## 11. Sign board

Wood, metal, or composite with raised perimeter

## 12. Cladding

Wood or wood composite clapboard, brick



Cheap John's Store, Currituck County, NC



Creekmore Brothers Store, Currituck County, NC



JM Roberts House, Currituck County, NC

## Junction & Newtown Public Spaces

Junction/Newtown, the established single-family region of Currituck Station, is primarily a place to live and play. Residential development will feature dispersed public spaces for families to use.

A public space, is an area that a resident or visitor has access to from the public right-of-way (R.O.W.), typically a road in Junction and Newtown.

There are various types of public spaces appropriate for Junction and Newtown. The following requirements guide developing all public space in the Junction and Newtown sub-districts.



# Junction & Newtown Public Spaces

## Greenbelts



*Greenbelt path*

1. Gently meandering path.
2. Greenbelts widen at building entrances.
3. Benches, trash receptacles, and water fountains shall be regularly spaced along the greenbelt.



*Greenbelt activity node*

1. Activity nodes are to be set back from the path, while remaining visible from the R.O.W.
2. Activity nodes should offer various options for visitors: Exercise equipment, Rest areas, Scenic looks, Picnic venues, Bike repair stations.

## Parks



*Dog Parks*

1. Fencing around dog park should be continuous.
2. Planting at base of fence is encouraged, to eliminate burrowing.
3. When possible, provide trash receptacles and water fountain for pets
4. The groundcover should be artificial turf or seeded grass.



*Fitness stations*

1. Paving should be soft and durable, rubber mats are typical.
2. Paving color should have a low heat reflectivity
3. Plaza amenities may vary, at a minimum, provide shaded seating and paved walking paths

## Amenities

1. Drinking fountains
2. Benches/Seating
3. Bike racks



*Area of concentrated amenities*



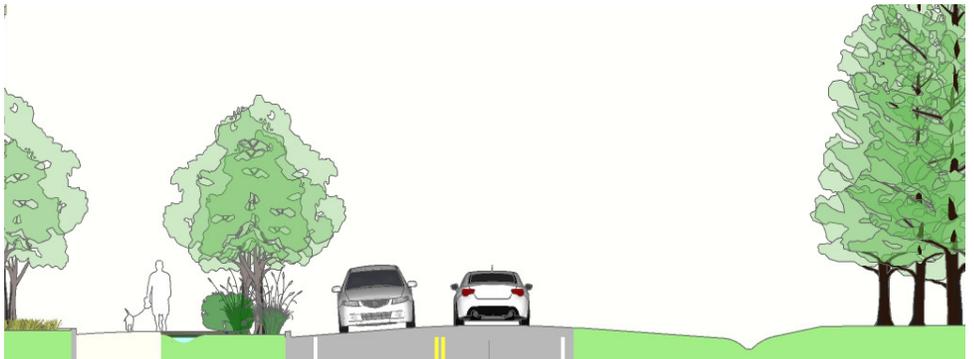
*Benches placed across from each other for social interaction*

# Junction & Newtown Public Right-of-Way

## Local streets

### Interior Street Options

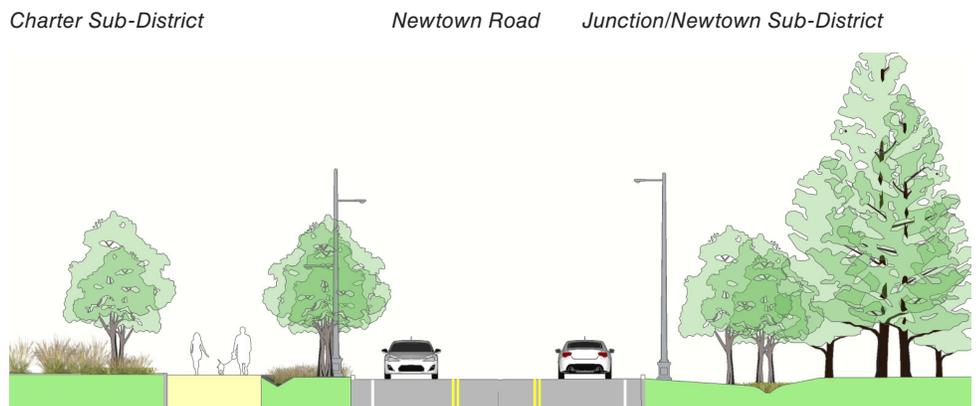
1. New streets will be designed to match the character of existing streets within the Junction and Newtown sub-districts



Representative of existing streets

## Arterials

1. New development in the Junction and Newtown sub-districts should allow for a wide multi-use path that accommodates both pedestrians and cyclists along a pleasant, meandering path
2. The pedestrian path meanders with a constant width of 12'
3. The pedestrian path is screened with a row of trees to serve as a barrier from any errant vehicles.
4. Trees shall be placed at regular intervals and of a species sized to provide continuous shade to pedestrians



Charter Sub-District

Newtown Road

Junction/Newtown Sub-District

Native Plants	12' Ped Path	9' Tree/Plants	11' Lane	11' Lane	11' Lane
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## Pedestrian paths

1. Pedestrian path types will be a multi-use path in these districts
2. Pedestrian path paving
3. Pedestrian path street crossings must be striped with pedestrian crossing signs for approaching vehicles.
4. Pedestrian path lighting shall be continuous, and even
5. Pedestrian multi use paths shall gently meander



Junction & Newtown - Interior Street

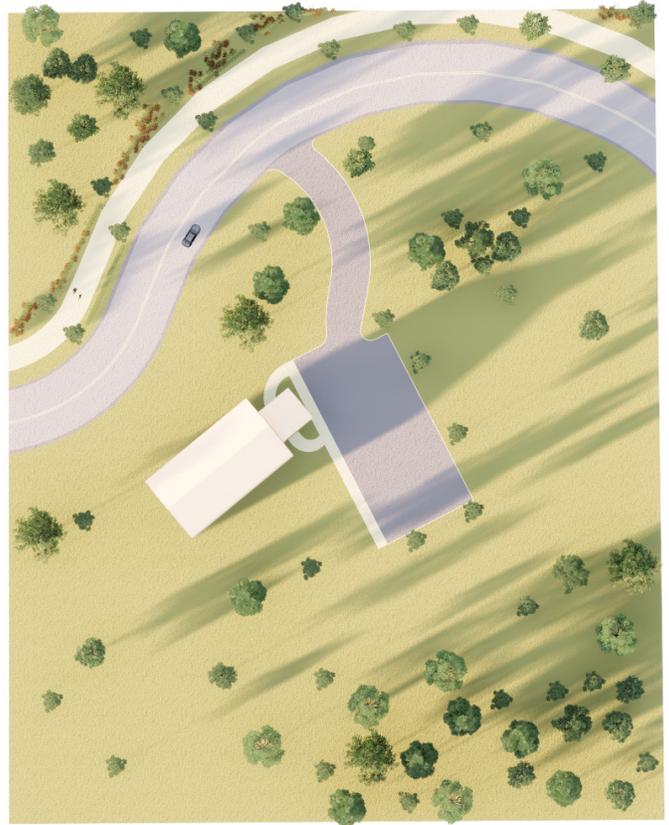
The following pages provide examples of building massing and architectural styles that are compatible with the Currituck Station design intent. Designers are not expected to copy these, only to use them as a guide towards their own compatible designs.

## Crossroads Development Principles

The Crossroads sub-district forms the industrial and job producing, non-residential core of the Currituck Station District. In addition to industrial development, Crossroads is appropriate for small offices, professional services, childcare facilities, medical facilities, and limited restaurant or cafe uses.

Uses within the Crossroads sub-district will provide buffers and, where necessary, additional stormwater mitigation techniques to the adjacent residential and environmentally identified areas of the district. Where retention ponds are required for treating stormwater, pedestrian paths are encouraged to allow workers and visitors an accessible amenity.

Crossroads is the place where many people in Currituck Station will come to work. In order to facilitate the increased traffic in this area, additional attention to detail of circulation for pedestrians and vehicles is required. The industrial commotion of Crossroads is insulated from neighboring residential development with significant perimeter buffers.



### Dimensions

The allowable dimensions for the Crossroads sub-district are designated in the Currituck Unified Development Ordinance.

### Allowable uses

This is an abbreviated table of uses for reference only. For a current and complete table of uses, see the Unified Development Ordinance

Residential Uses	Commercial Uses	Industrial Uses	Civic Uses
None	Office Restaurant	Yes	Education Government

# Crossroads Industrial Development

## Building massing

6. While not as architecturally sensitive as other sub-districts in Currituck Station, developments in Crossroads should still welcome visitors and those passing through with a human-scaled entry facing the street.



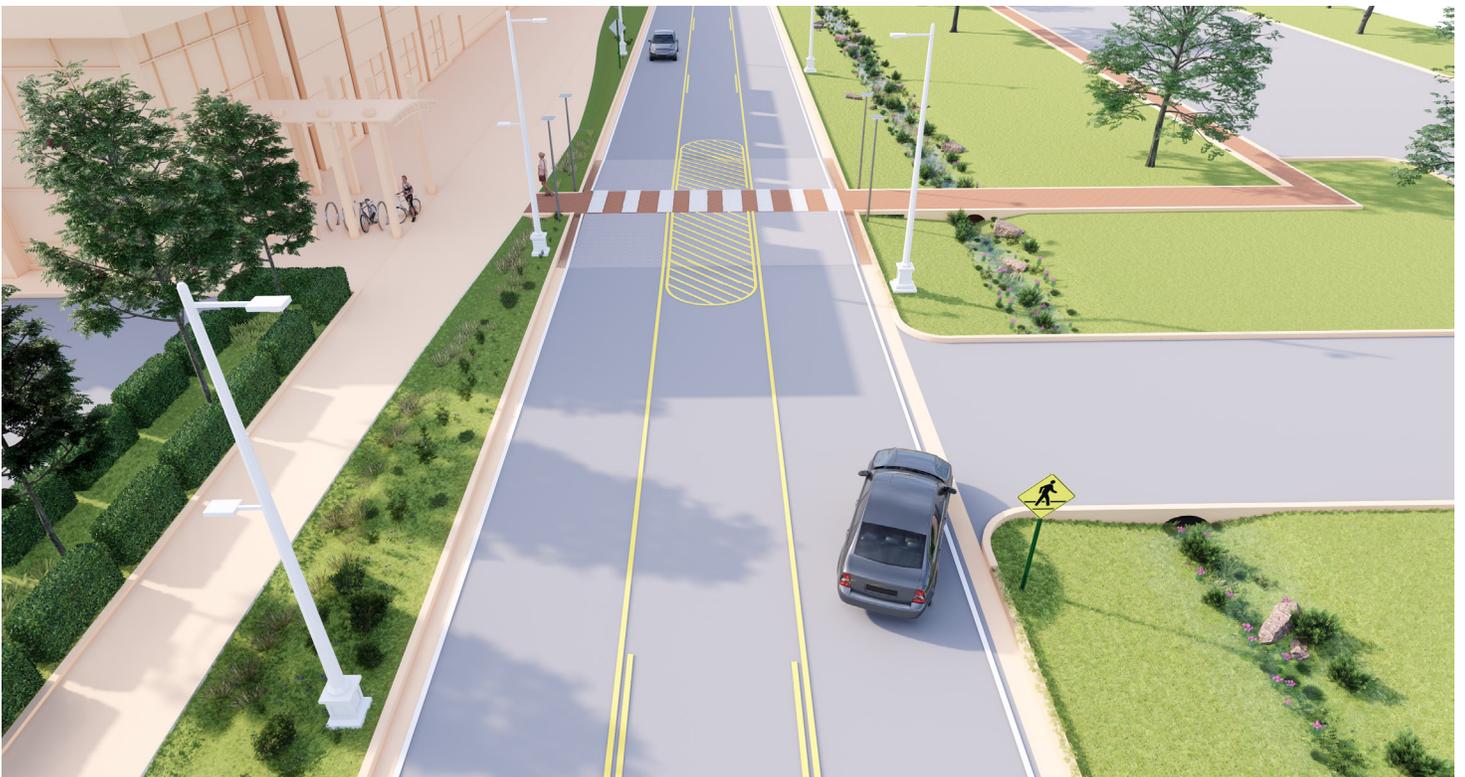
*Industrial buildings should have a welcoming entry prominently located closest to the frontage street.*

## Crossroads Public Right-of-Way

Crossroads, the industrial region of Currituck Station, is primarily a place to work and conduct business. Commercial and office uses in this sub-district will produce more vehicular activity than other sub-districts.

A public space, is an area that a resident or visitor has access to from the public right-of-way (R.O.W.), typically a multi-use path in Crossroads.

There are various types of public spaces appropriate for Crossroads. The following requirements guide developing all public space in the Crossroads sub-district.

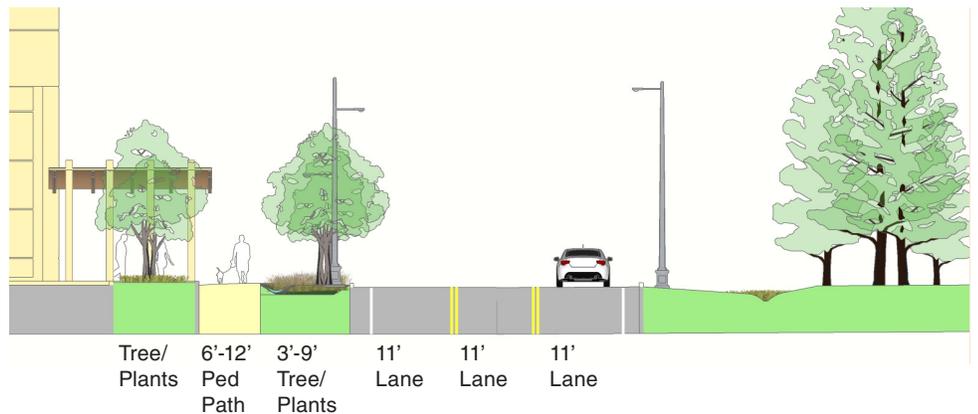


# Crossroads Public Right-of-Way

## Local Streets

### Interior Street Options

1. Sidewalks are protected from traffic by a row of trees
1. Pedestrian paths widen towards the verge at building entrances to facilitate increased pedestrian volumes
2. The center lane is for turning vehicles and may be upgraded to a planted median, as required
3. Trees shall be placed at regular intervals and of a species sized to provide continuous shade to pedestrians
4. Lighting shall be provided for both vehicular and pedestrian paths; lighting shall be no cooler than 3000K in color temperature and provide a CRI of 80 or better



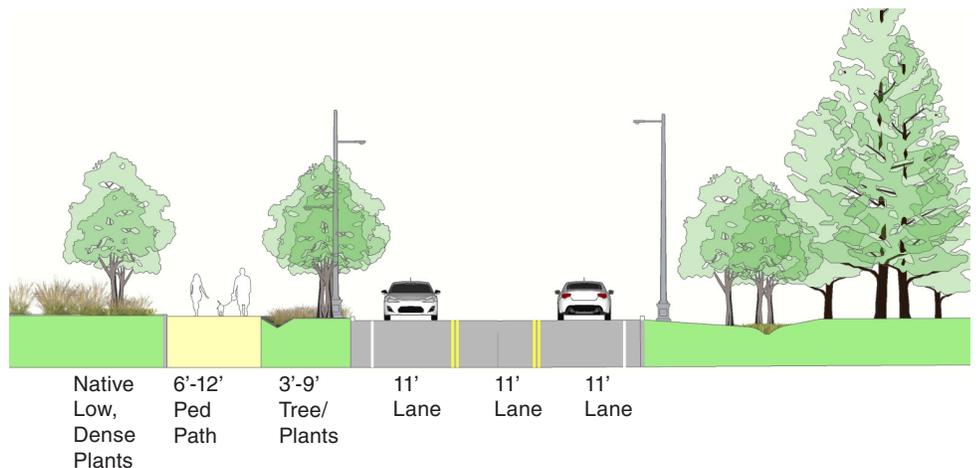
## Arterials

1. Wide multi-use path that accommodates both pedestrians and cyclists along a pleasant, meandering path
2. Pedestrian paths widen towards the verge at building entrances to facilitate increased pedestrian volumes
3. The center lane is for turning vehicles and may be upgraded to a planted median as required
4. A row of native grasses and trees protects pedestrians on the multi-use path from errant vehicles
5. A screen of bamboo planting may be utilized to hide industrial facilities from pedestrian view

*Crossroads Sub-District*

*East - West Connector*

*Crossroads Sub-District*



# Crossroads

## Public Right-of-Way

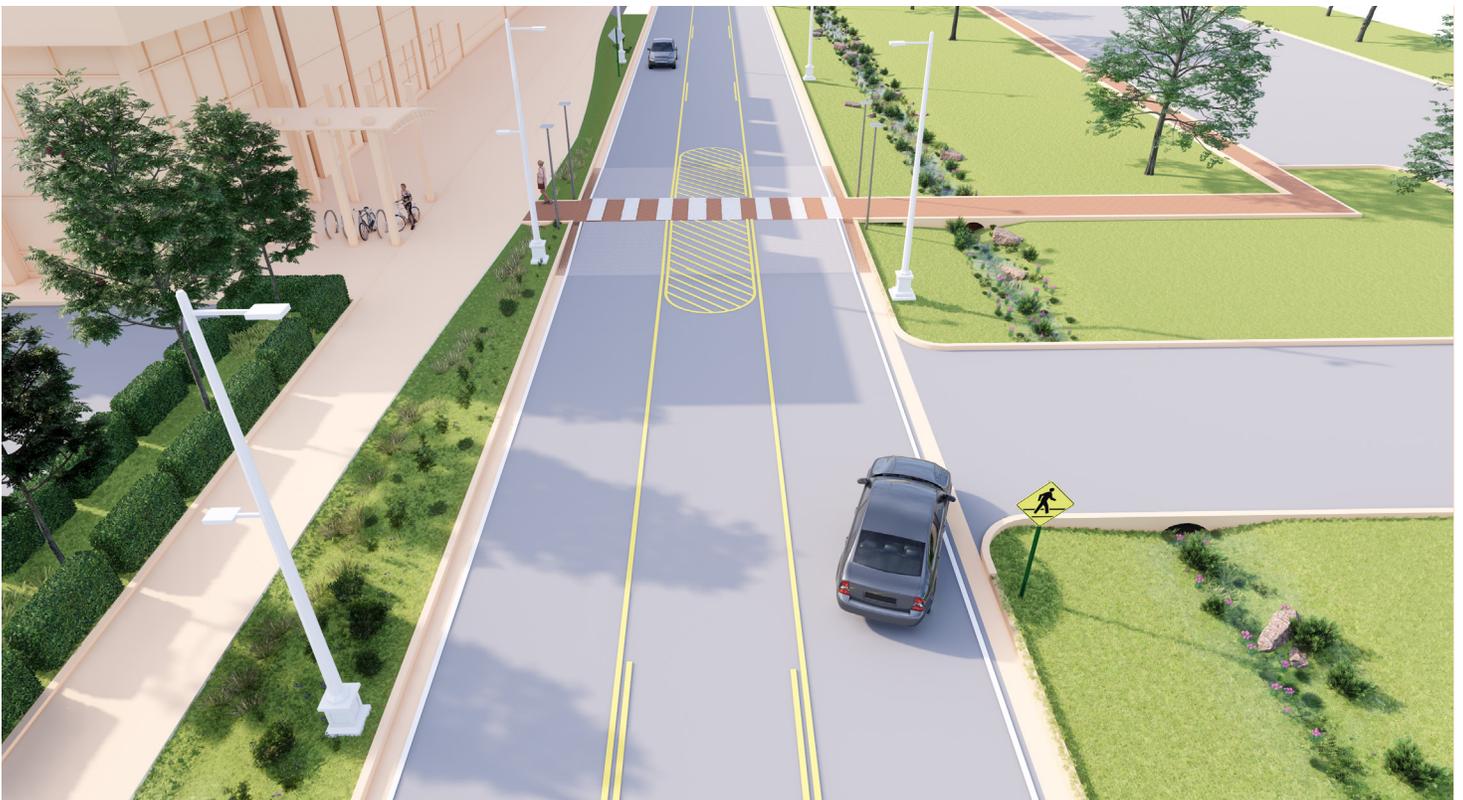
### Pedestrian paths

1. Pedestrian paths are multi-use.
2. Pedestrian path should have porous paving to facilitate drainage.
3. Pedestrian path street crossings shall be raised, colored to contrast adjacent road.
4. Pedestrian paths shall be continuously lit.
5. Pedestrian multi-use paths may gently meander.



Crossroads - Interior Street

6' - 12'



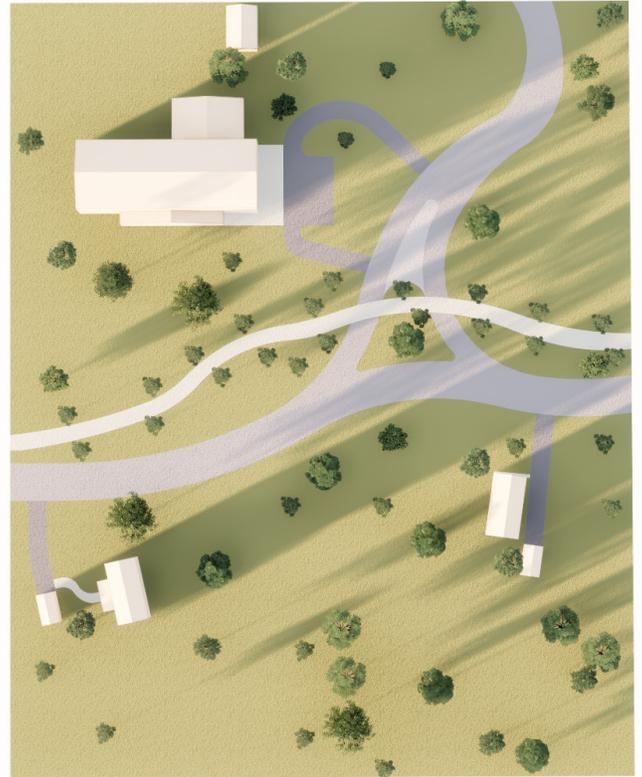
The following pages provide examples of building massing and architectural styles that are compatible with the Currituck Station design intent. Designers are not expected to copy these, only to use them as a guide towards their own compatible designs.

## Moyock Run Development Principles

The Moyock Run sub-district provides centralized governmental and public oriented uses. These uses include, but are not limited to, schools, parks, regional facilities as well as environmental and mitigation areas. Moyock Run is intended to be a natural setting in which these public facilities are placed.

To maintain the civic nature of Moyock Run buildings are encouraged along collectors and arterial streets. Each development should implement centralized (internal) roads and paths that connect to the public right-of-way. An interconnected network of sidewalks, multi-use paths, public spaces, and parks provide access to the civic and public uses found throughout the sub-district.

Moyock Run is intended to be a mostly natural and green area within the Currituck Station district. To maximize the available natural land available, connected and shared parking areas are encouraged.



### Dimensions

The allowable dimensions for the Moyock Run sub-district are designated in the Currituck Unified Development Ordinance.

### Allowable uses

This is an abbreviated table of uses for reference only. For a current and complete table of uses, see the Unified Development Ordinance

Residential Uses	Commercial Uses	Industrial Uses	Civic Uses
None	None	None	Community-serving facilities Education Government

## Moyock Run Public Spaces

Moyock Run, the park-like civic region of Currituck Station, is primarily a place to conduct business and government. Civic uses in this sub-district will produce more vehicular activity than other sub-districts.

A public space, is an area that a resident or visitor has access to from the public right-of-way (R.O.W.), typically a multi-use path in Moyock Run.

There are various types of public spaces appropriate for Crossroads. The following requirements guide developing all public space in Moyock Run.



# Moyock Run Public Spaces

## Squares



*Intersection square*

1. Located at the nexus of adjacent sub-districts.
2. Vehicular traffic surrounds the square.
3. Maintain a buffer between vehicular traffic outside of square and pedestrians inside square.
4. Suitable buffers are a continuous row of trees, planters, and/or on-street parking

## Greenbelts



*Greenbelt path*

1. Gently meandering path.
2. Greenbelts widen at building entrances.
3. Benches, trash receptables, and water fountains shall be regularly spaced along the greenbelt.



*Greenbelt activity node*

1. Activity nodes are to be set back from the path, while remaining visible from the R.O.W.
2. Activity nodes should offer various options for visitors: Exercise equipment, Rest areas, Scenic looks, Picnic venues, Bike repair stations.

# Moyock Run Public Spaces

## Parks



*Fitness stations*

1. Paving should be soft and durable, rubber mats are typical.
2. Paving color should have a low heat reflectivity
3. Fitness station amenities may vary, at a minimum, provide shaded seating and paved walking paths



*Neighborhood Playgrounds*

1. Located within or near large public space.
2. Neighborhood playgrounds must be visible from the right-of-way.
3. Provide non-opaque fencing that is continuous and secured around the perimeter.
4. Seating, water fountains, and trash receptacles are common amenities to include

## Amenities



*Buildings and parks should have amenities at their entrance.*



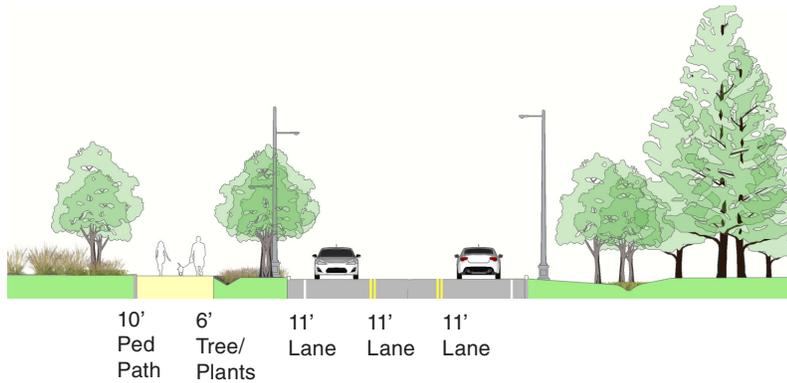
*Water fountains and trash cans are to be provided within parks in Moyock Run.*

# Moyock Run Public Right-of-Way

## Local Streets

### Interior Street Options

1. The large setback in this district allows for a wide winding path that facilitate cyclists in opposing travel directions.
2. The center lane is for turning vehicles or passing traffic
3. Trees shall be placed at regular intervals and of a species sized to provide continuous shade to pedestrians
4. Lighting shall be provided for both vehicular and pedestrian paths; lighting shall be no cooler than 3000K in color temperature and provide a CRI of 80 or better



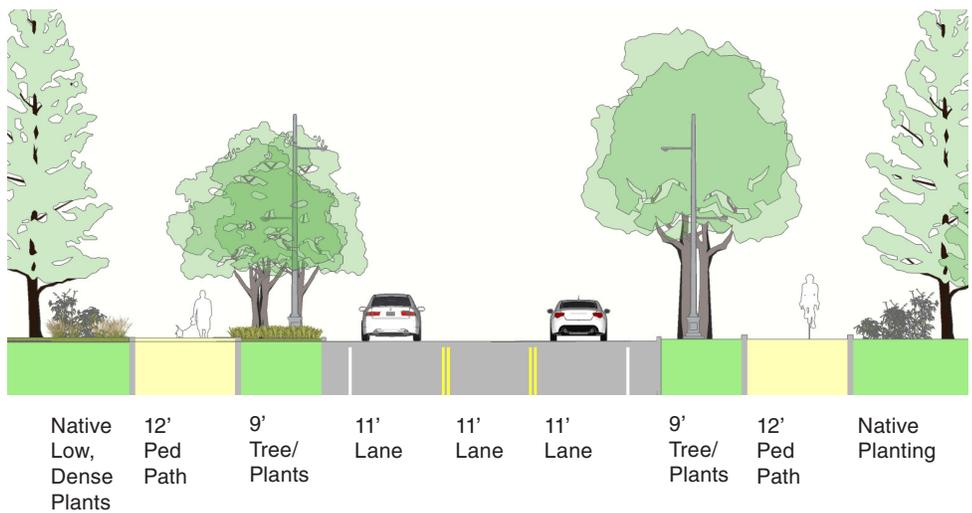
## Arterials

1. The pedestrian path is along the Moyock Run sub-district.
2. The 12' wide path gently meanders.
3. Rows of native trees and grasses serve as a physical barrier for any errant vehicles

*Moyock Run Sub-District*

*Central Parkway*

*Oak Trail*



# Moyock Run Public Right-of-Way

## Pedestrian paths

1. Pedestrian path types will be a multi-use path.
2. Pedestrian path paving should be soft and porous.
3. Pedestrian path street crossings must be striped, with signage alerting oncoming vehicles of crossing pedestrians.
4. Pedestrian path lighting shall be continuous, and even.
5. Pedestrian multi use paths shall gently meander, typically widening at entrances.



*Moyock Run - Interior Street*

6' - 12'

The following pages provide examples of building massing and architectural styles that are compatible with the Currituck Station design intent. Designers are not expected to copy these, only to use them as a guide towards their own compatible designs.

## Oak Trail Development Principles

The Oak Trail sub-district is intended reflect areas generally identified as environmentally sensitive. This includes, but is not limited to, native habitats, wetlands, riparian buffers, and floodplains. Low density residential uses may be permitted upon determination of environmental area limits.

The Oak Trail sub-district is generally at the periphery of the Currituck Station district. Connecting the new development with the existing rural lands surrounding by an interconnected network of greenbelt paths, parks, activity nodes, and scenic lookouts.

To maintain as much of the existing natural land as possible, development should be oriented towards collector and arterial roads. Shared parking and access roads should be utilized to minimize the amount of required paved surfaces. When paving is necessary, permeable materials should be utilized where there is no negative environmental effect.



### Dimensions

The allowable dimensions for the Junction/Newtown sub-district are designated in the Currituck Unified Development Ordinance.

### Allowable uses

This is an abbreviated table of uses for reference only. For a current and complete table of uses, see the Unified Development Ordinance

Residential Uses	Commercial Uses	Industrial Uses	Civic Uses
Single Family (Detached)	None	None	Environmental Facilities Government

## Oak Trail Public Spaces

Oak Trail, the natural open and scenic region of Currituck Station, is primarily a place to conduct business and government. Civic uses in this sub-district will produce more vehicular activity than other sub-districts.

A public space, is an area that a resident or visitor has access to from the public right-of-way (R.O.W.), typically a path or trail in Oak Trail.

There are various types of public spaces appropriate for Oaktrail. The following requirements guide developing all public space in the Oak Trail sub-district.



# Oak Trail Public Spaces

## Greenbelts



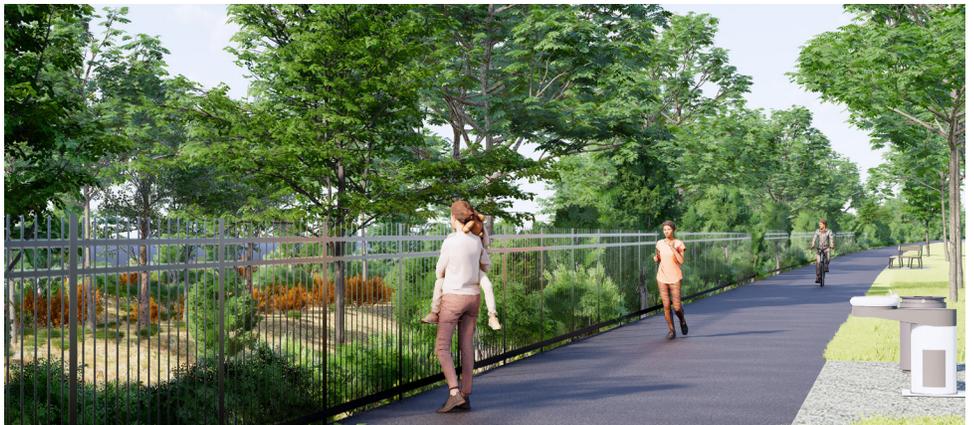
*Greenbelt path*

1. Gently meandering path.
2. Greenbelts widen at building entrances.
3. Benches, trash receptables, and water fountains shall be regularly spaced along the greenbelt.



*Greenbelt activity node*

1. Activity nodes are to be set back from the path, while remaining visible from the R.O.W.
2. Activity nodes should offer various options for visitors: Exercise equipment, Rest areas, Scenic looks, Picnic venues, Bike repair stations.



*Greenbelt path*

1. Located within or near environmental features.
2. Fencing should allow visibility to natural site features where possible
3. Provide non-opaque fencing that is continuous and secured around the perimeter.
4. Seating, water fountains, and trash receptacles are common amenities to include

# Oak Trail Public Spaces

## Parks



*Fitness stations*

1. Paving should be soft and durable, rubber mats are typical.
2. Paving color should have a low heat reflectivity
3. Fitness station amenities may vary, at a minimum, provide shaded seating and paved walking paths



*Neighborhood Playgrounds*

1. Located within or near large public space.
2. Neighborhood playgrounds must be visible from the right-of-way.
3. Provide non-opaque fencing that is continuous and secured around the perimeter.
4. Seating, water fountains, and trash receptacles are common amenities to include

## Amenities



*Buildings and parks should have amenities at their entrance.*



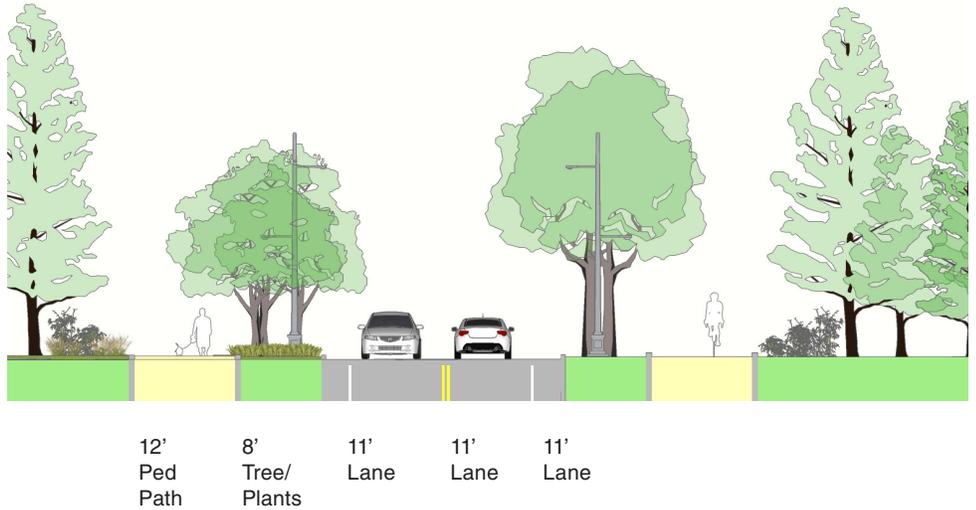
*Water fountains and trash cans are to be provided within parks in Moyock Run.*

# Oak Trail Public Right-of-Way

## Local Streets

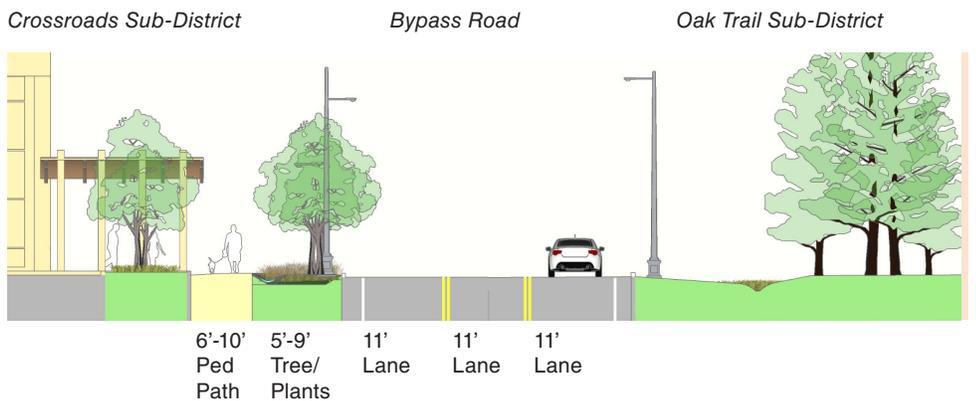
### Interior Street Options

1. The large setback in this district allows for a wide winding path that facilitate cyclists in opposing travel directions.
2. The center lane is for turning vehicles or passing traffic
3. Trees shall be placed at regular intervals and of a species sized to provide continuous shade to pedestrians
4. Lighting shall be provided for both vehicular and pedestrian paths; lighting shall be no cooler than 3000K in color temperature and provide a CRI of 80 or better



## Arterials

1. The pedestrian path is closest to the crossroads sub-district, facilitating connection to building entrances
2. The pedestrian path is a minimum of 6' where there is no building frontage adjacent.
3. The path widens at building frontages to facilitate increased pedestrian traffic
4. A row of trees serve as a barrier to protect the pedestrian path from errant vehicles



# Oak Trail Public Right-of-Way

## Pedestrian paths

1. Pedestrian path types will be multi-use paths.
2. Pedestrian path paving should be soft and porous.
3. Pedestrian path street crossings must be striped, with signage alerting oncoming vehicles of crossing pedestrians.
4. Pedestrian path lighting shall be continuous, and even.
5. Pedestrian multi use paths shall gently meander, typically widening at entrances.



6' - 12'

*Oak Trail - Street at Building Entrance*



CURRITUCK STATION  
GUIDELINES  
2019