



# LESLIE PARK

CONCEPTUAL MASTER PLAN REPORT

SEPTEMBER 2015



# ACKNOWLEDGEMENTS

With appreciation to these individuals and organizations for their thoughtful contributions and enthusiastic participation in the planning effort for Arsenal and Leslie Parks.

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# INTRODUCTION

LESLIE PARK MASTER PLAN ALLOWS EVERYONE – RESIDENTS, SENIORS, PARENTS, CHILDREN, TEACHERS, ARTS PRESENTERS, HEALTH CARE PROVIDERS, HISTORIANS, SPORTS PROGRAMMERS, BUSINESS OWNERS, COMMUNITY ORGANIZATIONS, CITY OFFICIALS, AND PUBLIC AGENCIES – TO FORM **A SHARED AND LIVING VISION.**



“Ball-fields are severely lacking in resources when compared to other area ball-fields. Need a new concessions building, fan seating, restrooms, shelter, maintenance storage, etc...”

“Is there room for one of those cool water parks?”

“Create bigger grassy space for more active groups”

“Community-centered art, food, and play”

“[...] green activities, bike facilities, green plant care, [...] Incorporate a community food garden. RAIN garden. POLLINATOR garden.”

## Introduction to Leslie Park Master Plan

Leslie Park presents a great opportunity to support the health, recreation, and revitalization of Lawrenceville.

Although it was a thriving neighborhood park for many decades, incremental changes have resulted in an unclear identity and compromised its usefulness. The two most significant changes were construction of the Boys and Girls Club of Western Pennsylvania building and the now-decommissioned pool with its large retaining walls. Both structures present major challenges to circulation and visibility, in addition to consuming large areas within the core of the park.

Thanks to a creative effort by the Leslie Collective (2009-2012), an all-volunteer think tank formed to explore and promote the revitalization and re-use of the former pool and grounds, people began to think in new ways about the park. The Collective and many partners presented a popular series of inspired events during that time, including the Accordion Pool Party, Disposable Film Festival, and Urban Star Party. Methods used to communicate ideas for Leslie Park included a documentary film and public exhibition. More than 200 people attended workshops, exploring how the space could find new life as a major civic amenity. The Collective also engaged Carnegie Mellon University’s Urban Design Build Studio for a student project which developed a splash park plan using sustainable technologies and doubling as a year-round venue for recreational and cultural programming.

In 2013, the City of Pittsburgh’s OpenSpacePGH plan called for developing a master plan for Leslie Park. State Senator Jim Ferlo urged that a master plan be developed concurrently with Arsenal Park planning, and helped to secure funding for the effort. Recognizing the importance of jointly planning both parks for the good of the community, representatives of Lawrenceville United, Lawrenceville Corporation, the Pittsburgh Parks Conservancy, and the Department of City Planning formed the core “Project Team.” The team worked closely with the planning consultant MKSK to engage a wide range of people in thoughtful, creative discussions about Leslie Park’s past, present and potential.

It is with the utmost respect for the foregoing efforts that we present the Leslie Park Master Plan as the vision for the future. Informed by those prior efforts, the plan is based on a thorough inventory and analysis, including an assessment of community needs. Drawing on Leslie Park’s historical design, the plan devises new elements that solve problems and build identity. The plan provides a framework of spaces

that will enrich community life by supporting a wide variety of programming and establish the park as a neighborhood resource for recreation, performance, and exhibition. The plan repurposes elements of the pool facility and suggests ways to more effectively integrate the Boys and Girls Club building into the park. Putting the plan into practice will develop a valuable asset for Lawrenceville, attracting new users and generating economic activity by connecting with and enhancing the Butler Street business corridor.

Concepts included in this plan are constructible, maintainable, and economically rational, with a road map for phased implementation. The plan is a critical link to restoring the park’s integrity, safety, beauty, and functionality, guiding change and providing a rationale for capital investment over the long term.

This document represents Lawrenceville’s care and concern for the park. The shared experience of creating a vision for the park has brought generations of residents together, fostering a sense of community, pride, and ownership that will help the park to be well-maintained and stewarded for years to come. We wish to thank the wide array of individuals, groups, and stakeholders who have given their time and knowledge to craft a plan that will give Leslie Park a vibrant future.

The Leslie Park Master Plan expresses the best of current thinking about park planning, treatment, and management. A living document, the plan will be subject to future amendment due to unforeseen changes. Any such modification to the plan should be addressed through a thoughtful community process. With the implementation of each major project, there will be opportunities for public input.

We look forward to working with the Lawrenceville community to bring this plan to life.

### Project Team

- Christine Brill, Friends of Arsenal Park
- Lauren Connelly, Lawrenceville United
- Andrew Dash, Department of City Planning
- Matthew Galluzzo, Lawrenceville Corporation
- Susan M. Rademacher, Pittsburgh Parks Conservancy
- Randall Sulkin, Friends of Arsenal Park

## WHAT: The Opportunity

The overarching goal of the Leslie Park Master Plan is to develop a great vision that weaves the threads of history and contemporary community life together into a safe, active, accessible, and sustainable park. This project will help bring the park a new level of usability and popularity while preserving its historical significance for current and future generations.

This Master Plan report focuses on the future needs of Leslie Park and the surrounding neighborhood while creating a strong sense of place and promoting a healthy active community as a walkable destination.

This is an opportunity for leveraging important open space in community revitalization, promoting connectivity throughout the neighborhood, and fostering a sustainable future for Lawrenceville. It is also a great opportunity to celebrate, preserve and interpret the park's cultural and historic resources.

In an effort to promote continuity of open spaces within Lawrenceville, the Master Planning team also investigated and explored opportunities for improving Arsenal Park, located between Penn Ave and Butler Street between 39th and 40th Streets. Only six blocks southwest from Leslie Park, Arsenal Park provides additional and complementary open space for recreation and leisure to the residents of Lawrenceville. These master plans were conducted simultaneously with multiple community engagement opportunities for a variety of stakeholders.

## WHY: The Vision

Leslie Park has served as a neighborhood park within Lawrenceville for the last century. Located at the corner of Butler Street and 46th Street, and adjacent to the Allegheny Cemetery, the park is positioned to embrace its future revitalization as a neighborhood recreation and open space resource. There is a desire for the park to continue to foster health and wellness for the neighborhood, serve as an ecological resource, and provide a setting for social interaction.

The Master Plan serves as a vision for the community to develop and enjoy a forward thinking urban park, fostering social interaction and a sustainable Lawrenceville: socially, environmentally, and culturally.

This report establishes a comprehensive series of physical recommendations in support of ecology, history, programs/events, activities, and behaviors that echo the goals and objectives developed by the Design Consultants and Project Team, stakeholders, and the community. Well-planned design and management of Leslie Park can further the goal of providing a neighborhood park system in which spending an hour or a day at the park is an opportunity for both individuals and groups engaging in expression, self-discovery, and recreation, one in which all spaces contribute to a sustainable environment honoring the legacy of the past and celebrating the future of the community. This heightened consciousness about urban park planning and design, and its impact on health and wellness, will help create a dynamic and powerful signature park for Lawrenceville.

## HOW: The Process

### GROUNDING:

An intensive period of interviews, observation, and research to gain a comprehensive understanding of the park site and its surroundings.

### EXPLORATION:

Developing, in words and concepts, broad planning principles and goals in response to community issues and needs.

### RECOMMENDATIONS:

The formulation of physical planning and design concepts, tested against planning principles and goals, to meet identified program and enhancement needs.

### FINALIZATION:

The refinement and adoption of a comprehensive, unified set of ideas that comprise the master plan.

These steps were taken in concert with the Project Team, which provided input and evaluation of each step throughout the planning and design process. The role and focus of the Project Team was to:

- Grow in knowledge and understanding of the site and the surrounding context, how it looks and how it works;
- Review and help determine planning and design principles and goals for the development and re-development of the site;
- Discover and explore new ideas and new ways of thinking about the site and the surrounding area;
- Share results of the planning and design process with key stakeholders and the community; and
- Promote the orderly planning, development, and re-development of the park.

## WHOM: Community Engagement

The early stages of a planning project are a time for learning and collaboration. It was at this point that we invited the public and stakeholders to share the issues and considerations important within the community of Lawrenceville and the City of Pittsburgh. This knowledge, and the relationships built through this process, guided the effort to develop ideas and strategies to address project planning and design issues. The testing of those ideas, through further public engagement, ultimately provided a consensus-based direction. Our goal was to form a shared and "living" vision. To reach this goal, we cast a wide net, which included residents, business interests, community organizations, key stakeholders, key officials, and public agencies. Opportunities to engage the public were in the form of traditional open houses, forums, or focus group sessions. The Project Team also utilized the web-based platform MindMixer to provide an alternative approach to engaging a wider range of participants.

The photos and timeline illustrate the variety of community engagement opportunities that the Project Team organized throughout the master planning process. Spanning from May 2014 through March 2015, the team engaged the community and key stakeholders through workshops, charrettes, presentations, school functions, and the web-based platform MindMixer.



# MASTER PLAN

## Design Motivation

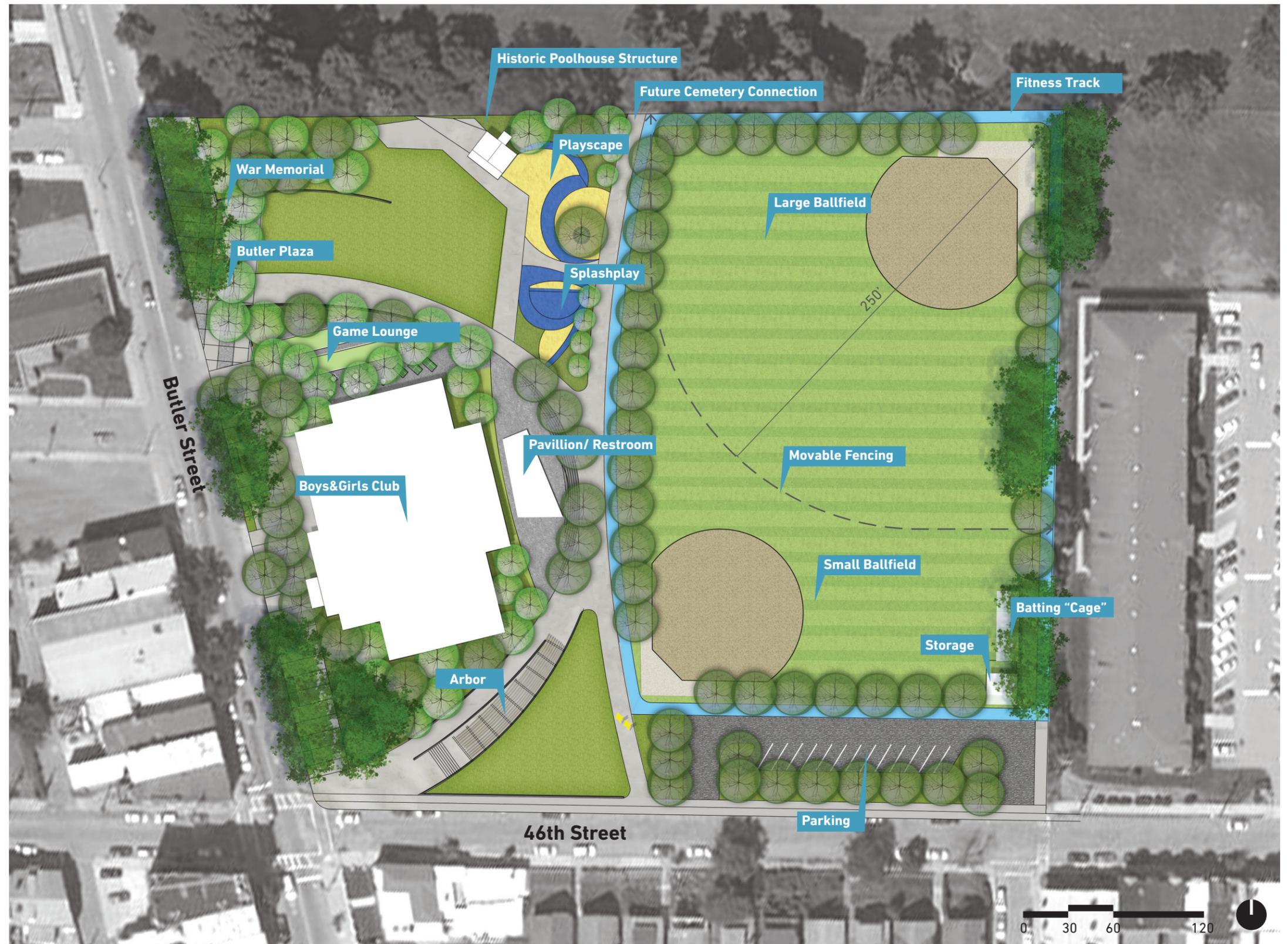
The existing study area for Leslie Park is presented as a neighborhood green space with minimal recreation and entertainment zones or compartments. The park is currently accessed along Butler Street and 46th Street, establishing its western and southwestern borders. These entry points, several of which are not universally accessible, link the park to the surrounding streetscape and neighborhood.

During the Grounding Phase of the master planning process, the Design Team indicated several key structures as "Givens." These existing structures / areas of the site are considered vital to past, present, and future use based on observation and community input through multiple engagement events. The "Givens" outlined in this Master Plan report are as follows:

- + Community Center
- + Baseball Fields
- + Center structure of former Leslie Poolhouse

Improving the edges of the park and the barriers within the park will provide a more accessible and convenient network of pedestrian circulation, promoting both physical and perceived connectivity between the park and the surrounding neighborhood. The Master Plan recommends the following strategies for improved accessibility and connectivity:

- + Provide more accessible routes into the park
- + Provide for future access to Allegheny Cemetery
- + Remove unnecessary walls and barriers within the park for fluid circulation
- + Maintain continuous pedestrian and bicycle paths



## Playscape + Splashplay

### Playscape Highlights

1. Taking advantage of the sloping topography, the playscape terraces down the hillside providing a variety of play spaces that are unified through various play opportunities and equipment.
2. Rubberized play surface for safety and color. Color selection should be determined with community input during the design development phase of the project.
3. Installation of large shade trees to provide immediate canopy during the hot summer months.
4. Accent and security lighting: mixture of overall light for safety, and accent lighting placed strategically to highlight various spaces and playscape elements.

### Splashplay Highlights

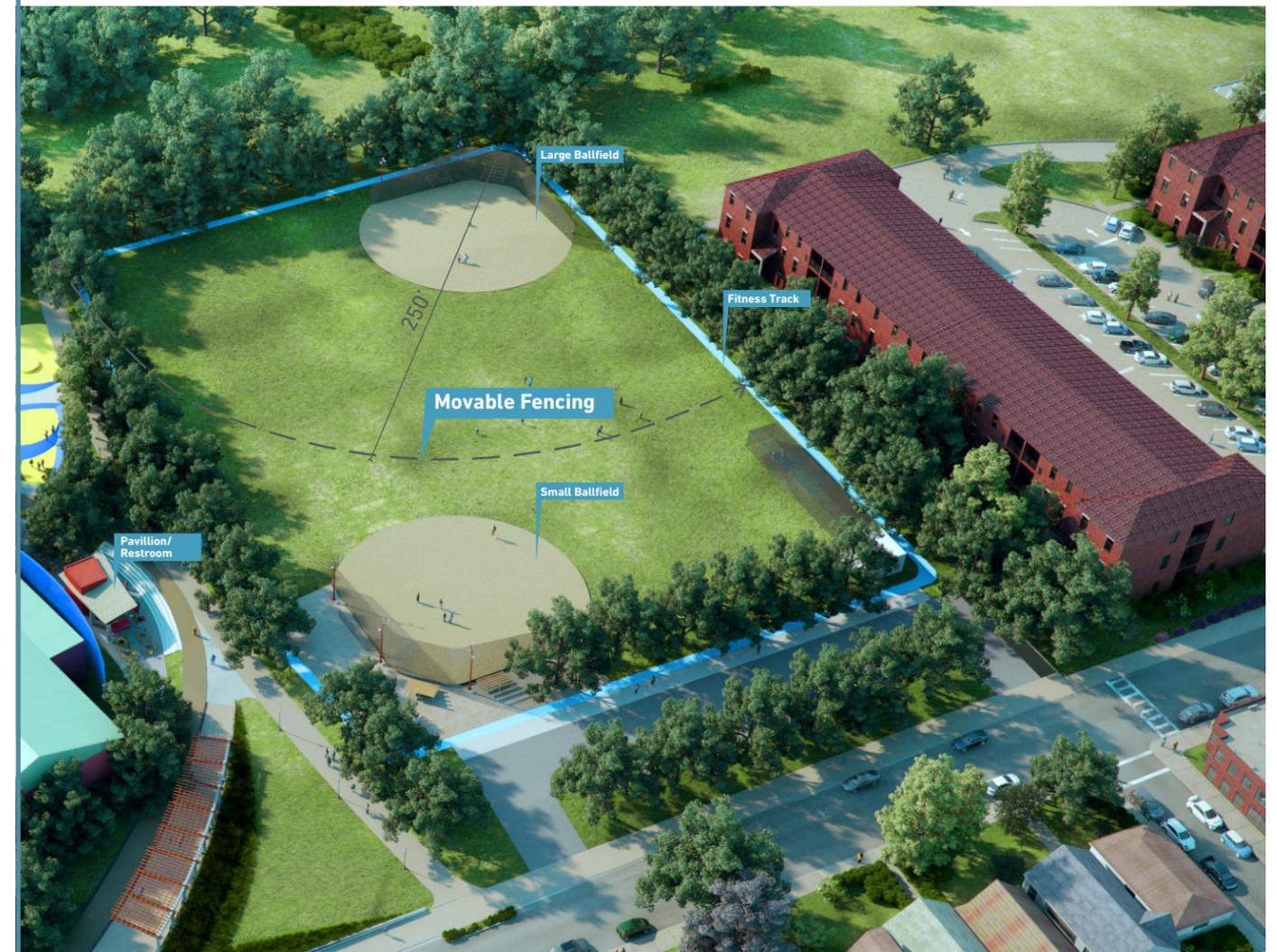
1. Combination of various above-ground water features: spray, mist, jets, etc.
2. Mixture of rubberized and concrete surfaces for safety and color.
3. Splashplay integrated into the sloping topography of the park, providing terraced spaces to play with water features.
4. Accent and security lighting: mixture of overall light for safety, and accent lighting placed strategically to highlight various spaces and splashplay elements.



## Ballfields + Fitness Track

### Highlights

1. Regraded ballfields with native turf fields and athletic soil for infields.
2. New fencing, bleachers, and dugouts to be placed behind each ballfield.
3. Athletic field lighting to be positioned to provide maximum light for playing area and minimal light pollution to surrounding neighbors and dark sky.
4. Perimeter Fitness Track - Two-lane (6-8 feet wide) rubberized surface walking and jogging. Color to be determined in design phase. Explore opportunities to place a small grouping of exercise equipment near track.
5. Installation of mature shade trees around perimeter of ballfield space, providing shaded observation areas as well as defining the ballfield space. Integrate evergreen plant material in areas where views into and out of the park should be screened.



# MASTER PLAN

## Game Lounge

### Highlights

1. Combination of large shade tree species provide shade for the entire Game Lounge space.
2. Permeable and accessible surface to promote an inclusive and green space. (Crushed stone)
3. Game Features: Bocce Ball, ping-Pong, Horseshoes, Cornhole, Checkers, etc.
4. Uplighting for dramatic effect on grove of shade trees. Canopy lighting to provide light for gaming.
5. Future renovation of Boys and Girls Club to provide physical and visual link between indoor basketball court and Game Lounge.



## Pavillion + Fitness Track

### Highlights

1. Pavilion combines restroom, concessions, and shade structure. Located in the center of the park, the pavilion is positioned to serve all spaces within the park; playscape, splashplay, ballfields, arbor, game lounge, and fitness track.
2. Steps/seating integrated into hillside to provide transition between terraces and seating for visitors.
3. Shade tree and native vegetation should be planted in the space to promote the park as an attractive and seasonal destination.
4. Site furnishings and lighting to provide inviting and comfortable space for gathering.



## Butler Plaza and War Memorial

### Highlights

1. Mixture of permeable pavement and concrete surfaces to promote durable materials and green stormwater management.
2. Double row of street trees to provide shade along Butler Street corridor. Selection of large caliper trees should be considered for immediate impact in the plaza space.
3. Relocated War Memorial from corner of Butler Street and 46th Street to the Butler Street Plaza.
4. Interpretive signage displaying the history of Leslie Park and Lawrenceville.

**Parks offer the opportunity for community interaction and the development of “social capital” that can help increase and improve their use, surveillance, care, maintenance, and safety.**



## Arbor

### Highlights

1. Arbor in contemporary design inspired by historical arbor from the original park design. Construction materials to consist of wood and steel.
2. Integrate signage into seatwall and arbor to serve as educational moments and to honor donors and historical park visitors.
3. Native vegetation should be planted in the space to promote the park as an attractive and seasonal destination.





## Recommended Phasing

### A. PROGRAM SPACE

- + Rubberized play surface
- + Safety and accent lighting
- + Playscape structures
- + Site furnishings
- + Pool building demolition and renovation
- + Rain gardens
- + Splashplay
- + Paving/pavers
- + Game Lounge

### B. BALLFIELDS + PARKING

- + Ballfields
- + Rubberized fitness track surface
- + Exercise equipment
- + Site furnishings
- + Asphalt surface parking lot
- + Sport lighting
- + Storage building
- + Batting cage and bleachers

### C. PAVILION AREA

- + Paving/pavers
- + Site furnishings
- + Pavilion structure, restrooms, concessions
- + Rain gardens

### D. STREETScape

- + Paving/pavers
- + Lighting
- + Site furnishings
- + Rain gardens
- + Interpretive signage
- + Street trees
- + World War I Memorial

### E. ARBOR

- + Paving/pavers
- + Site furnishings
- + Arbor
- + Interpretive signage
- + Seatwall

## Cost Opinion

1. Program Space, Playscape, and Game room	\$1.2 M
2. Ballfields + Parking	\$750 K
3. Pavilion Area	\$775 K
4. Streetscape	\$650 K
5. Arbor	\$450 K

**TOTAL ESTIMATE** **\$3.825 M**

Preliminary estimates of probable construction costs have been created to guide budgeting for the phased implementation of park improvements. Future phasing will be contingent upon several factors including the availability of public funding as well as private-sector participation in developing park amenities and programming.

Ideally, the entire Master Plan would be implemented as one project to gain economies and provide the full transformative effect upon the community. Often, however, park improvements must be implemented in stages. If required, recommended phases are based upon community need and logical sequencing of complementary projects. Proposed phases can be separated or combined based upon coordination issues and the availability of funds.

Budget estimates are based on the conceptual design proposed herein. The estimates have been conceived without detailed engineering and within the limitations of available topographical mapping. While these estimates are useful in establishing relative improvement budgets and in pursuing project funding, additional design will be necessary to more accurately predict specific project costs.

## Moving Forward

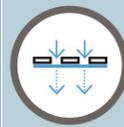
Detailed Design - The size and scope of the future park development will require significant coordination over several phases involving both public and private sector interests. In order to ensure that future development of the park meets the community's expectations for quality, durability, appearance, and identity, design guidelines should be established in coordination with the detailed design and documentation of park improvements.

## Outside Funding Strategies

In order to capitalize on current interest and momentum; and in recognition of the limited availability of federal, state, and local government funds, this plan should be actively used to recruit private-sector investors and funding partners. Corporate entities such as local and national banks, health and wellness providers, and technology companies frequently sponsor the construction and operations of health and wellness initiatives and significant community facilities such as those planned at the park. These potential partners should receive assistance in gaining an understanding of the benefits of public / private partnering.

## Sustainable Best Management Practices

The following practices should be employed throughout the Park to reduce development impacts and lead to a healthier overall environment.



**POROUS / PERMEABLE PAVEMENTS** - Porous pavement systems are hard surface pervious pavement materials, equal in strength and durability to conventional pavements, that allow stormwater runoff to percolate through the pavement into the ground, thus reducing stormwater runoff and surface water pollution.

Gravel base courses lying underneath the porous pavement surface serve as a "reservoir" to temporarily store the percolated stormwater, thereby lengthening the infiltration period into the underlying soil. Pervious pavement options include:

Porous Asphalt, Porous Concrete and Permeable paving systems.

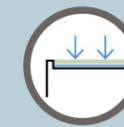


**RECYCLED PAVEMENTS & BUILDING MATERIALS** - Pavements made from recycled sources ultimately save resources and energy. Recycled asphalt unit pavers provide a very appealing alternative to traditional brick and concrete unit pavers.

Recycled asphalt pavement reduces pollution, waste, and fossil fuel (petroleum) consumption associated with the manufacture and transportation of asphaltic pavement materials. Specifying recycled asphalt should be considered as a means to reduce the city's contribution to greenhouse gas emissions.



**RAINGARDENS, BIO-RETENTION CELLS & STORM WATER PLANTERS** - Raingardens, Bio-retention Cells & Storm Water Planters utilize a series of landscaped or turf covered catchment areas designed to capture, cool, cleanse and infiltrate stormwater runoff from paved surfaces. These systems are an effective method of integrating landscaping and stormwater management into the more intensively developed areas of the park.



**GREEN (VEGETATED) ROOFS** - Vegetated or "green" roofs provide excellent benefits to high performance buildings including reductions in the rate and quantity of stormwater runoff and increased energy efficiency. A green roof should be considered for the pavilion/restroom structure.



**NATIVE LANDSCAPE PLANTINGS** - Native plant species should be utilized in the restoration of heavily modified and disturbed areas of the park. Native species are non-invasive and typically require less maintenance, supplemental watering, pesticides, or fertilization than non-native landscape plantings. Native turfgrasses and meadow species can be selected for their year-round ornamental qualities, height, texture and color characteristics. Native plantings still require maintenance during the establishment phase; however, the establishment period can be as little as one year.

**REGIONAL PARKS**

**1,971.7 ACRES**

- Highland Park 377.9 acres
- Riverview Park 258.8 acres
- Frick Park 643.8 acres
- Schenley Park 434.1 acres
- Emerald View Park 257.2 acres

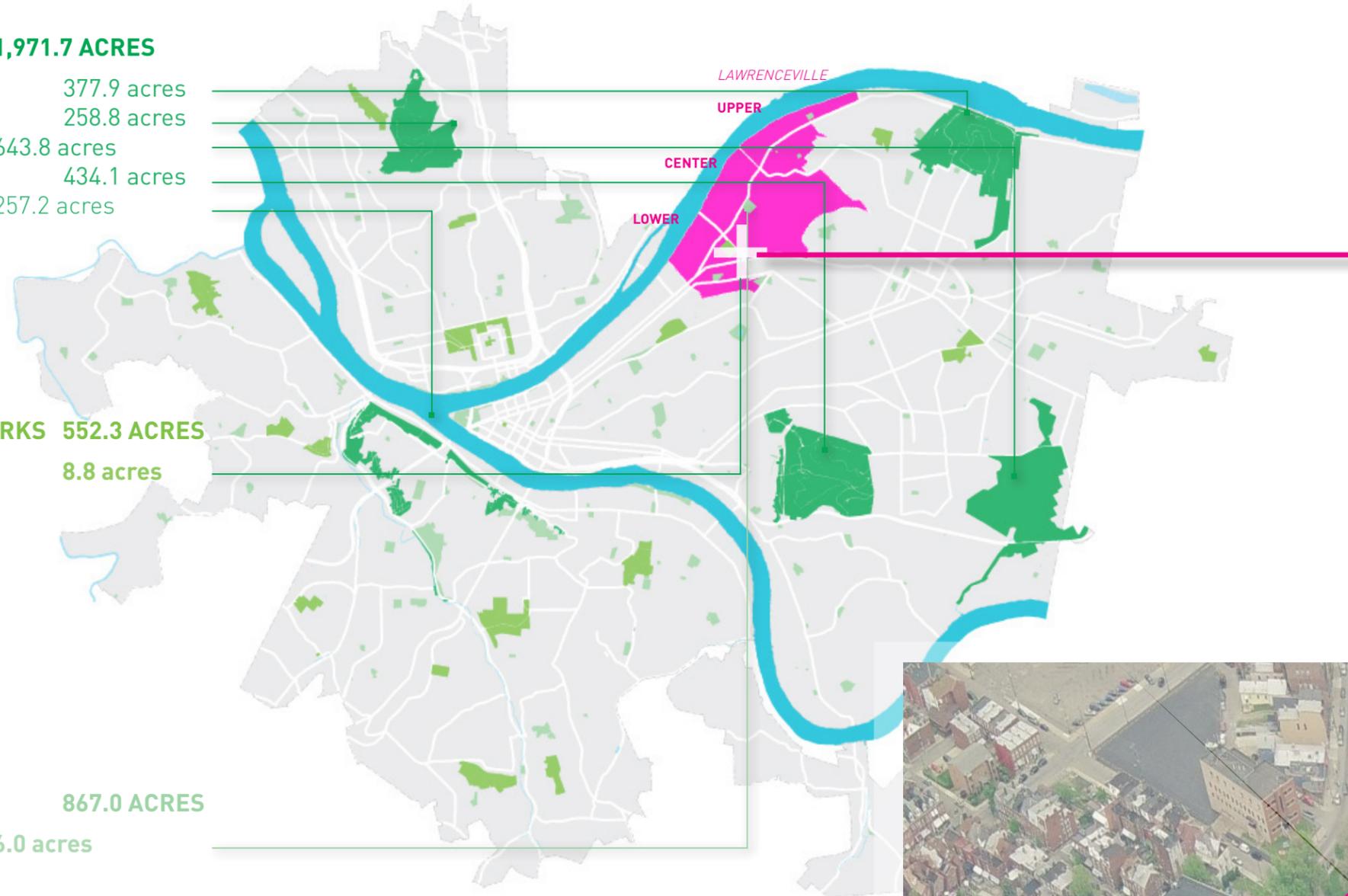
**CITYWIDE COMMUNITY PARKS 552.3 ACRES**

- Arsenal Park 8.8 acres

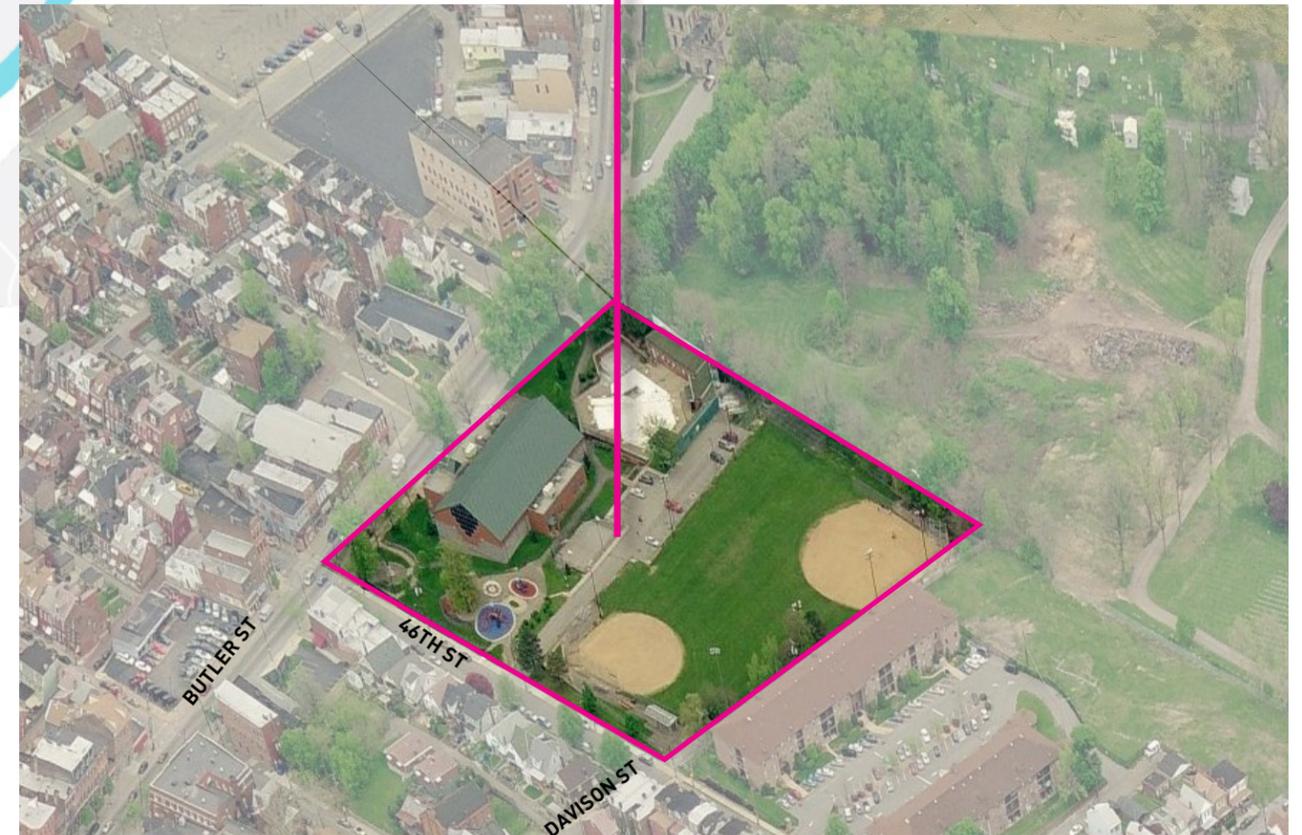
**NEIGHBORHOOD PARKS & OTHER OPEN SPACES**

**867.0 ACRES**

- Leslie Park 6.0 acres



PROJECT CONTEXT: PITTSBURGH AREA PARK SYSTEM MAP



PROJECT CONTEXT: AERIAL OF EXISTING PARK

# INTRODUCTION



## **WHAT: THE OPPORTUNITY**

The overarching goal of the Leslie Park Master Plan is to develop a great vision that weaves the threads of history and contemporary community life together into a safe, active, accessible, and sustainable park. This project will help bring the park a new level of usability and popularity while preserving its historical significance for current and future generations.

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In an effort to promote continuity of open spaces within Lawrenceville, the Master Planning team also investigated and explored opportunities for improving Arsenal Park, located between Penn Ave and Butler Street between 39th and 40th Streets. Only six blocks southwest from Leslie Park, Arsenal Park provides additional and complementary open space for recreation and leisure to the residents of Lawrenceville. These master plans were conducted simultaneously with multiple community engagement opportunities for a variety of stakeholders.

## **WHY: THE VISION**

Leslie Park has served as a neighborhood park within Lawrenceville for the last century. Located at the corner of Butler Street and 46th Street, and adjacent to the Allegheny Cemetery, the park is positioned to embrace its future revitalization as a neighborhood recreation and open space resource. There is a desire for the park to continue to foster health and wellness for the neighborhood, serve as an ecological resource, and provide a setting for social interaction.

The Master Plan serves as a vision for the community to develop and enjoy a forward thinking urban park, fostering social interaction and a sustainable Lawrenceville: socially, environmentally, and culturally.

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## **HOW: THE PROCESS**

### **Grounding:**

An intensive period of interviews, observation, and research to gain a comprehensive understanding of the park site and its surroundings.

### **Exploration:**

Developing, in words and concepts, broad planning principles and goals in response to community issues and needs.

### **Recommendations:**

The formulation of physical planning and design concepts, tested against planning principles and goals, to meet identified program and enhancement needs.

### **Finalization:**

The refinement and adoption of a comprehensive, unified set of ideas that comprise the master plan.

These steps were taken in concert with the Project Team, which provided input and evaluation of each step throughout the planning and design process. The role and focus of the Project Team was to:

- a. Grow in knowledge and understanding of the site and the surrounding context, how it looks and how it works;
- b. Review and help determine planning and design principles and goals for the development and re-development of the site;
- c. Discover and explore new ideas and new ways of thinking about the site and the surrounding area;
- d. Share results of the planning and design process with key stakeholders and the community; and
- e. Promote the orderly planning, development, and re-development of the park.

## **WHOM: COMMUNITY ENGAGEMENT**

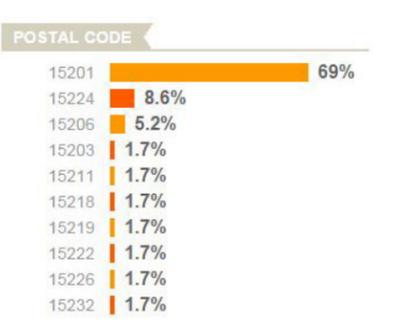
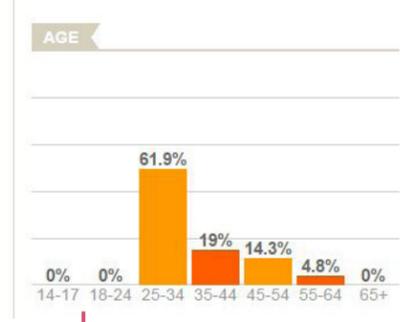
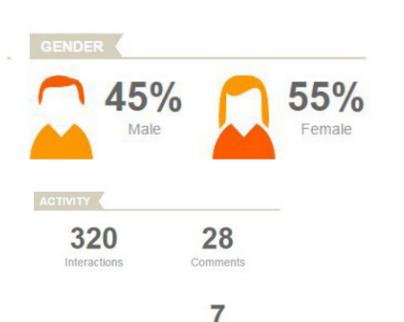
The early stages of a planning project are a time for learning and collaboration. It was at this point that we invited the public and stakeholders to share the issues and considerations important within the community of Lawrenceville and the City of Pittsburgh. This knowledge, and the relationships built through this process, guided the effort to develop ideas and strategies to address project planning and design issues. The testing of those ideas, through further public engagement, ultimately provided a consensus-based direction. Our goal was to form a shared and "living" vision. To reach this goal, we cast a wide net, which included residents, business interests, community organizations, key stakeholders, key officials, and public agencies. Opportunities to engage the public were in the form of traditional open houses, forums, or focus group sessions. The Project Team also utilized the web-based platform MindMixer to provide an alternative approach to engaging a wider range of participants.

The photos and timeline illustrate the variety of community engagement opportunities that the Project Team organized throughout the master planning process. Spanning from May 2014 through March 2015, the team engaged the community and key stakeholders through workshops, charrettes, presentations, school functions, and the web-based platform Mindmixer.

## WHAT YOU SAID: COMMUNITY ENGAGEMENT SUMMARY



**WEB** **PROJECT TOTALS: 1,143 UNIQUE VISITORS | 107 IDEAS**



## WHAT YOU SAID: PROCESS AND CONSENSUS BUILDING

### Stakeholder Group:

Stakeholders groups were identified to represent diverse interests. Among these groups: Lawrenceville residents, business and property owners, and arts and sports groups. In multiple sessions through all phases of the project, the stakeholder groups were tasked to critically think about content and recommendations through the lens of their particular interests. This process led to focused discussion and discovery of issues important to each group.

### Project Team:

Over the course of this planning effort, the Project Team provided invaluable insight into overlapping, and sometimes competing, interests uncovered during stakeholder group sessions. It was during the Project Team meetings, throughout each phase of this project, that those varying viewpoints were reconciled. This group challenged and tied together the work.

### Public Meetings:

During the planning process the general public was invited to participate in different forms of public engagement including a block walk, workshops, and open house. Each format allowed for specific and detailed discussion between attendees and project representatives.

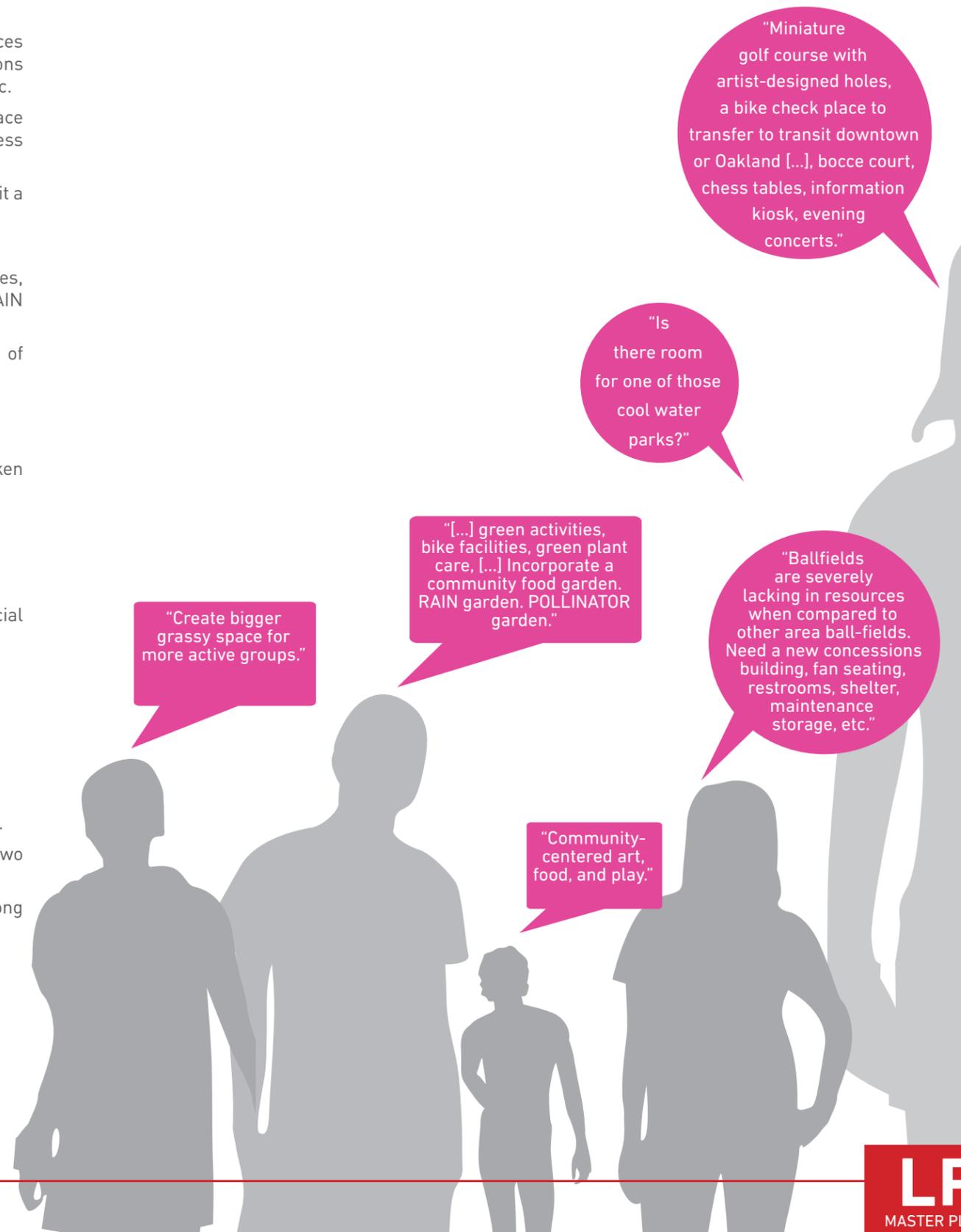
### Social Media:

Reaching beyond typical engagement methods, this planning effort used an online social media platform (MindMixer) to reach a wider audience. At the close of the master planning process, the project web page had 1,168 unique visitors, and 118 ideas. Use of these platforms expanded the outreach to include those who could not attend all scheduled public sessions.

## WHAT YOU SAID: SOME OF THE IDEAS...

### LESLIE PARK | SUMMARY

- + **Ballfield amenities** - Ballfields are severely lacking in resources when compared to other area ballfields. Need a new concessions building, fan seating, restrooms, shelter, maintenance storage, etc.
- + Miniature **golf course** with artist-designed holes, a bike check place to transfer to transit downtown or Oakland [...], bocce court, chess tables, information kiosk, evening concerts.
- + **Pool** - [...] Neighborhood swimming pool would be great [...] make it a pool again or tear it out and make that space part of the park.
- + **Re-use swimming pool**
- + **LEED certified small structures** [...] green activities, bike facilities, green plant care, [...] Incorporate a community food garden. RAIN garden. POLLINATOR garden.
- + **Great spot** - Close to great parts of the neighborhood. Center of Lawrenceville and half-way meeting point.
- + Better **park connection** at Butler Street.
- + Dissatisfaction with **loss of green area** to new structure.
- + **Lack of activities** in general other than skateboarding on broken glass.
- + Include area for **dogs**.
- + **Community-centered art, food, and play.**
- + **Monument needs to be better integrated to the park.**
- + **Needs activities** - walk-throughs, relaxing reading areas, social areas to meet a friend, benches and seating for laptop use.
- + **Spray Park.**
- + Better relationship/connection with the **cemetery**.
- + Address **litter**.
- + Address **homeless**.
- + **Renovate/ Reuse** existing building.
- + **Butler Street frontage** - add trees, shrubs, green, WWI memorial.
- + **Enhance** individual park assets, **build connections** between two parks.
- + Development of a pedestrians corridor and park connection along Davison Street.



## PRINCIPLES: THE BIG PICTURE

Leslie Park has been embraced and loved by those that have lived near the five-acre park throughout the years. As the park has evolved over time, the opportunities for recreation and relaxation have lessened. The intent of the concepts in this Master Plan is to revive the park once again as an integral participant in the network of Lawrenceville's urban open spaces. The master planning process has identified key goals and the park's structure to develop an understanding of the park, both as a total framework and as individual framework and of individual spaces within that framework. In understanding Leslie Park as a cohesive neighborhood park, the Master Plan provides detailed recommendations to achieve the goals of enhancing the park's quality and increasing its use. The Master Plan identifies key goals and recommendations regarding land use, pedestrian circulation, and broad landscape concepts to be implemented over time. The following goals are the touchstones for recommendations within the document:

### 1. Nature | Performative + Authentic

Promote a sense of place that promotes the relationship between park visitors and ecology. Whenever possible, retain existing mature tree canopy. Promote a sustainable park that uses local and regional materials, manages stormwater through a network of bioswales and raingardens, and embraces native plant material that provides year-round seasonal interest and increased opportunity for wildlife habitat.

### 2. Play | Health and Wellness

Provide a setting that promotes a recreational and social destination for all ages. Motivated to promote health and wellness throughout the neighborhood, the Master Plan recommends a playscape, splashplay area, and a game lounge for visitors to actively engage in; running, climbing, competing, and splashing in spaces incorporated into the park.

### 3. Perform | Cultural Expression

As a setting for community gathering and interaction, Leslie Park should be designed with the capacity to host a variety of programs and participation/observation opportunities. There are several unique spaces and landscapes within the park designed to host small events within the former pool area and larger events in the ballfield space.

### 4. Stage | Perform + Observe

Leslie Park is currently entered at a few locations along Butler and 46th Streets. Entry to the park should be convenient, efficient, and accessible. Within the park, pedestrian circulation should be easy to understand, leading visitors through a series of unified landscapes and spaces, providing a safe and secure park experience.



Commercial rents, residential sale prices, and assessed values for properties near a well-improved park generally exceed those in surrounding submarkets.

How Smart Parks Investment Pays the Way - Ernest & Young



We found through our research that buyers are very work and career-focused and are time-strapped and stressed... They don't have time for planned recreational programs, but they want to connect with nature and family as a way to decompress, which could be as simple as taking their kids for a walk around a park.

2014 ULI Open Space Outlook - Malee Tobias, Vice President, Newland Real State Group



"People are placing a higher value on fitness and social interaction these days. The idea that most family recreation and social activity occurs in the backyard is no longer true. People are searching for the sense of connection and community..."

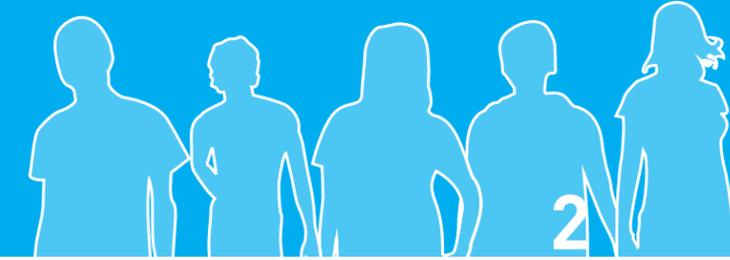
Urban Land Institute (ULI) 2014 Open Space Development Outlook



"...easy access to a place to exercise results in a 5.1 percent median increase in aerobic capacity, along with weight loss, a reduction in body fat, improvements in flexibility, and an increase in perceived energy."

American Journal of Preventive Medicine

# GROUNDING



## INTRODUCTION

The Grounding Phase of the master planning process represents an intense period of interviews, observation, and research to gain a comprehensive understanding of the park site and its surroundings. This section of the report shares the information found during this phase. Highlights within this section include: history of Leslie Park, demographics of the community, site inventory and analysis, program exploration, and best practice research.

## LESLIE PARK: A STORIED PAST

Leslie Park is layered with a rich history. Located at Butler and 46th Streets, adjacent to the historic Allegheny Cemetery, these grounds were once the splendid residence of the Schoenberger family. The estate was regarded as one of the best in the Pittsburgh area. Dr. Peter Schoenberger was an iron industry pioneer, building Juniata Works as the first practicable rolling mill in 1824, and established several furnaces in western Pennsylvania. His sons George K. and John H. continued the business. John was a noted art collector and philanthropist, helping to establish St. Margaret's Memorial Hospital on the upper half of the Lawrenceville estate he had inherited.

In 1903, the nearly five-acre Schoenberger property was purchased at a cost of \$45,516 by the City of Pittsburgh. The new park would be operated by the Bureau of Parks and Bureau of Recreation.

The new attraction was named "Lawrence Park," honoring the memory of Captain James Lawrence (1781-1813). The namesake of Lawrenceville was a hero of the War of 1812 who, mortally wounded in battle, was famed for declaring "Don't give up the ship." His defiant phrase was used on Commodore Oliver Hazard Perry's battle flag during the successful Lake Erie military campaign. Lawrence was such a national hero that there are towns and counties bearing his name in 13 states.

The park's major elements were a recreation center (initially the Schoenberger home), as well as athletic fields, a wading pool, and sandboxes. In 1908 the City constructed a swimming pool, and the construction of a large bath house soon followed. Sometime between 1910 and 1923, the old Schoenberger home was demolished and a new community center erected in a more central location in the park. After World War I, a handsome stone monument was placed directly in front of the community center.

In 1927, Leslie Park was re-named in honor of Malachi Grant Leslie (1864 -1933). Residing at 243 Fisk Street, Max Leslie was vice president of two construction companies and a prominent Republican. His distinguished political career included service as member and president of the Pittsburgh Common Council (1896-1904), chairman of the Republican City Executive Committee (1903-1910), State Senator and Majority Leader (1918-1926), and delegate to the national conventions that nominated Presidents Taft and Harding. Leslie was dubbed "Maker of Mayors" when he helped elect Joseph V. Armstrong in 1908, in 1917, E. V. Babcock (who later established the Allegheny County parks system), and in 1925, Charles H. Kline.

In 1947, Leslie Park was described as a thriving neighborhood park in a regional recreation study. The Recreational Center was mainly attended by young people under 21 years of age. The diversified center program was under the direction of two full time and three part time leaders, and the summer program under two full time leaders. Leslie Park's facilities are used by outside groups.

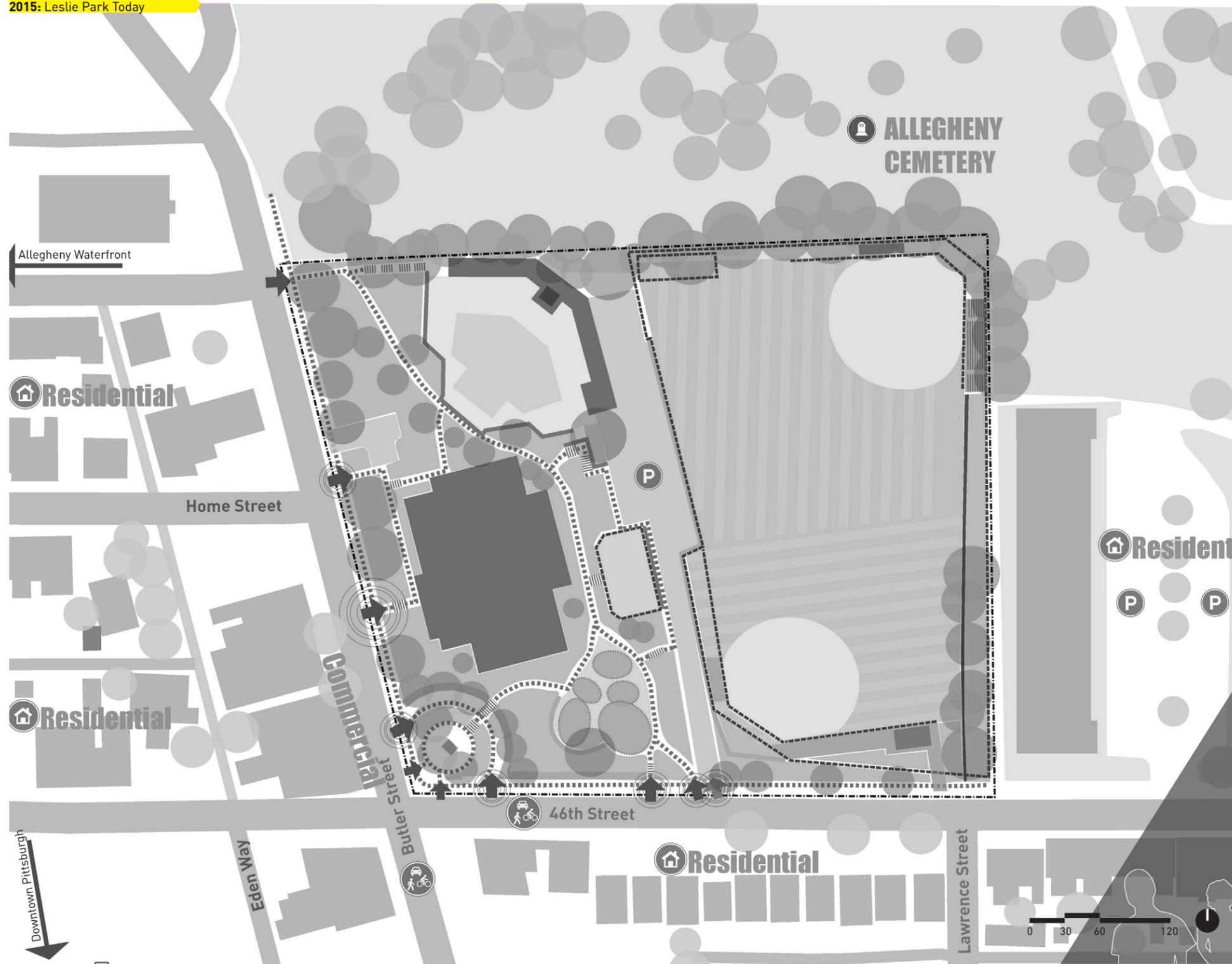
*"The general plan (of the facility) was suggested by Miss Beulah Kennard. The pergola itself is a magnificent semicircle of concrete seats and pillars, in front of which is the wading pool with a sand pile on each side. In the summer vines will cover the arbor overhead, making the pergola an ideal resting place for mothers while they watch their children at play."*

Excerpted from The Pittsburgh(h) Dispatch, 1908 (exact date unknown)

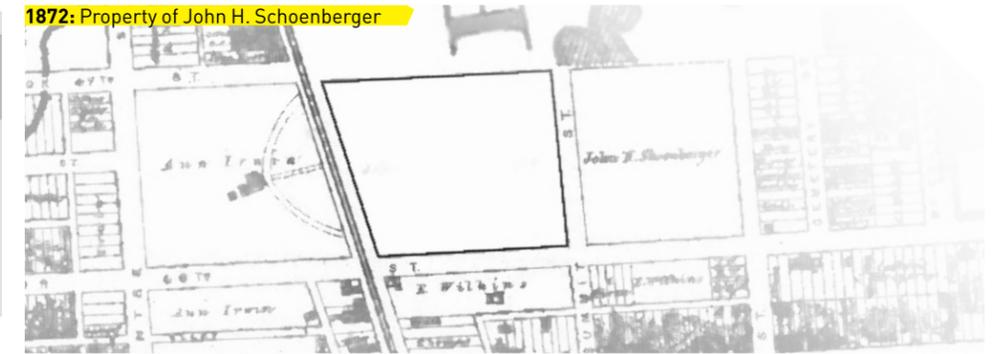
# SITE HISTORY

AT A PAST GROUND, BUILDING THE FUTURE

2015: Leslie Park Today



1872: Property of John H. Schoenberger



1910: Lawrence Park



1914: Lawrence Park



1937: Leslie Park



# SITE HISTORY

AT A PAST GROUND, BUILDING THE FUTURE

**Circa 1908:** Lawrence Park, shortly after completion



The large community center replaced the original Schoenberger residence which had served as a recreation building in the park's early years. Note the original trellis roof – later replaced with a closed gable roof -- on the colonnade around the wading pool and sandboxes.

While the configuration of the pool changed from its original oval to a trapezoidal shape over time, its location in the park remained consistent. Throughout the years, the bath house was operated in a variety of ways serving the youth and the local community. According to oral history and collected photographs, the second floor served as a multi-purpose community center. The grand fireplace made it comfortable for winter activities, with the surrounding space often in use for marbles championships, theatrical presentations, social events, and training for boxing. The second floor was condemned a few years before it was destroyed by fire in 1986, after which the building was reduced to one story.

In the summer of 2000, a new 29,000 square foot building for education and recreation was opened as a Boys and Girls Club and Citiparks Senior Center. The structure contains a full basketball court, roller hockey, and multi-purpose rooms. Occupying about an acre at the center of the park along Butler Street, the new facility replaced open green space that many considered valuable to the park experience. It also prompted relocation of the World War Memorial to the park entrance at 46th and Butler Streets.

Three years later, the swimming pool was one of 16 pools to be permanently decommissioned as part of the City's financial recovery plan under the state-supervised Act 47 for restructuring debt (Financially Distressed Municipalities Act of 1987). After the closure, Leslie Park's use declined. Even so, the small playground with its new spray feature continued to attract visitors, and the 9th Ward Youth Association sustained its vibrant association with the park.

In response to the vacant pool site, a volunteer group called the Leslie Collective explored the revitalization of the former pool from 2009 to 2012. They presented a variety of creative programs that attracted people from throughout Pittsburgh to Leslie Park, and hosted planning workshops with City agencies and the public to encourage new ways of thinking about the park's future. The Collective recruited Carnegie Mellon University's Urban Design Build Studio which developed a plan for a sustainable splash park that would also serve as a year-round venue for recreational and cultural programming. These efforts rekindled interest and hope, demonstrating the community's desire for a more lively and attractive park. Then, in 2013, the City of Pittsburgh's OpenSpacePGH plan called for developing a master plan for Leslie Park.

**1939: Aerial Image**



The World War memorial is shown, centered within the triangular path intersection.

**1957: Aerial Image**



Mature trees and expanded playground.

**2003: Aerial Image**



**2012: Aerial Image**



1907: Lawrence Park



1907: Grading the new park



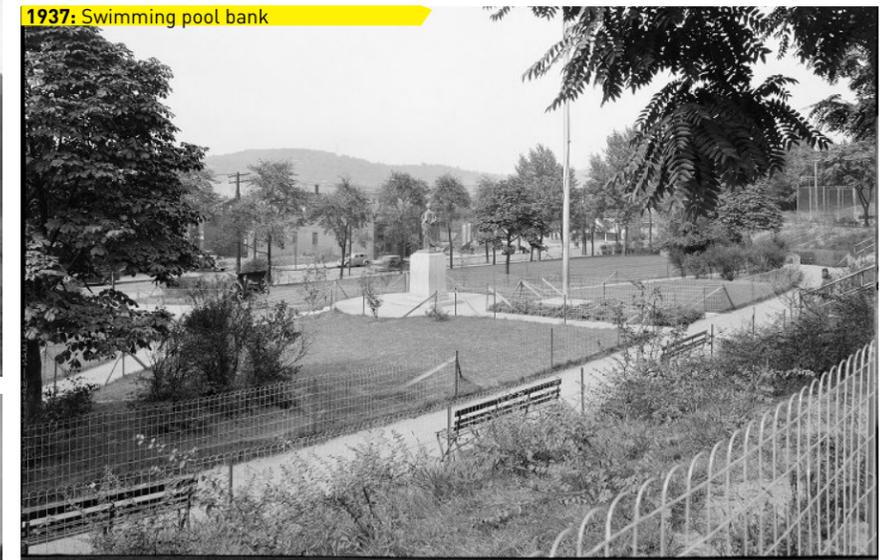
1907: Slope between hospitals and ballfields



1921: Sliding board



1937: Swimming pool bank



1921: Wading Pool



1922: Labor Day

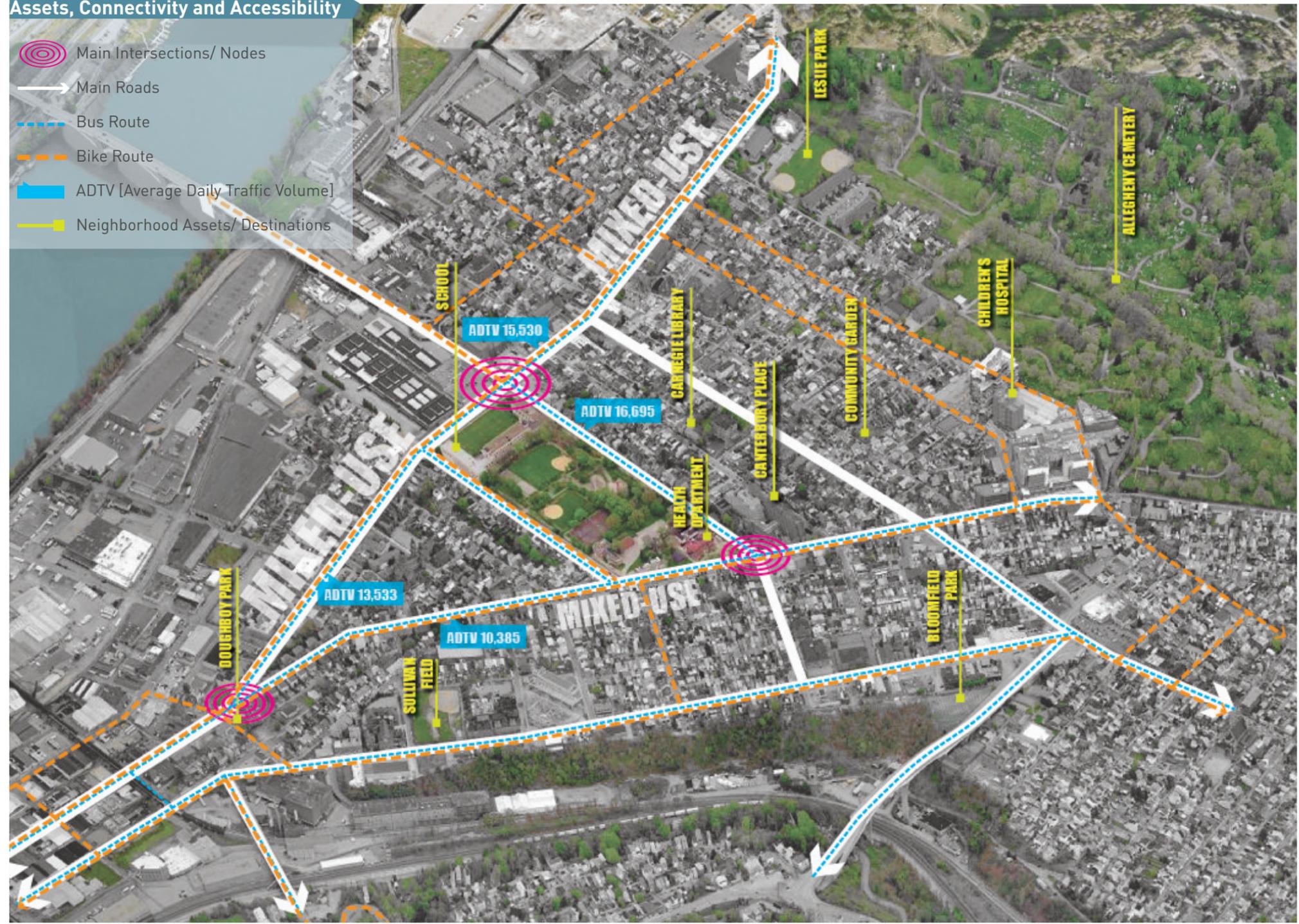


1937: Wading Pool





**Assets, Connectivity and Accessibility**

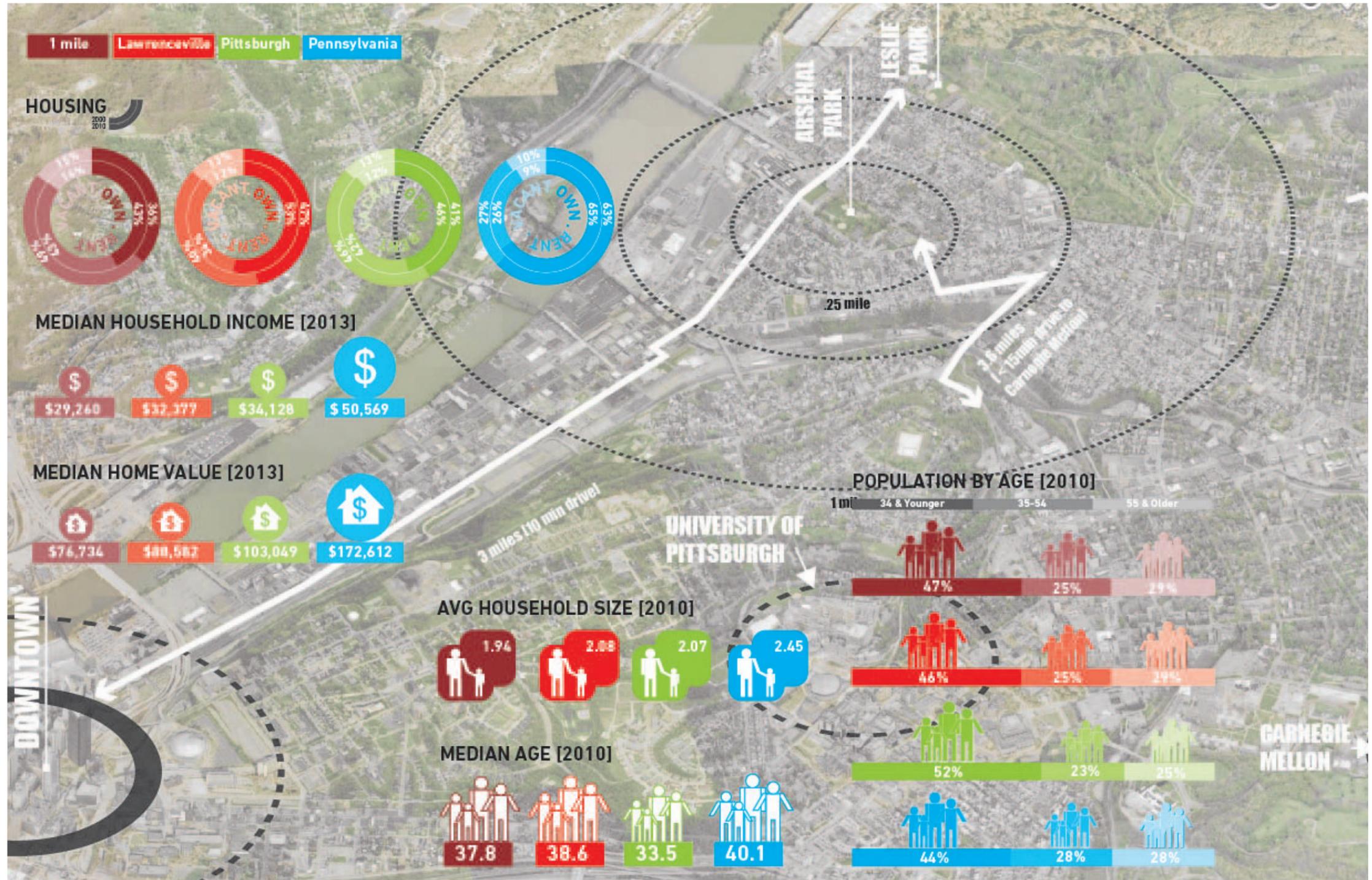
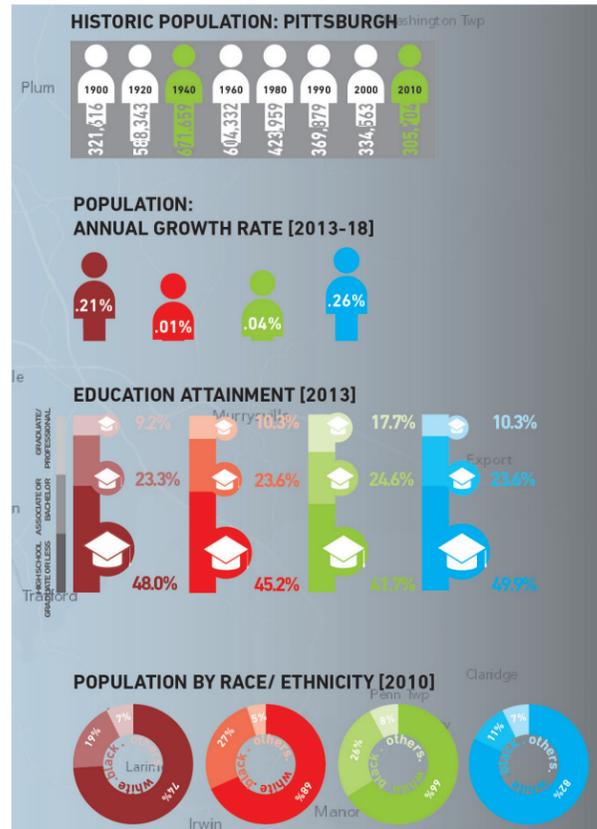
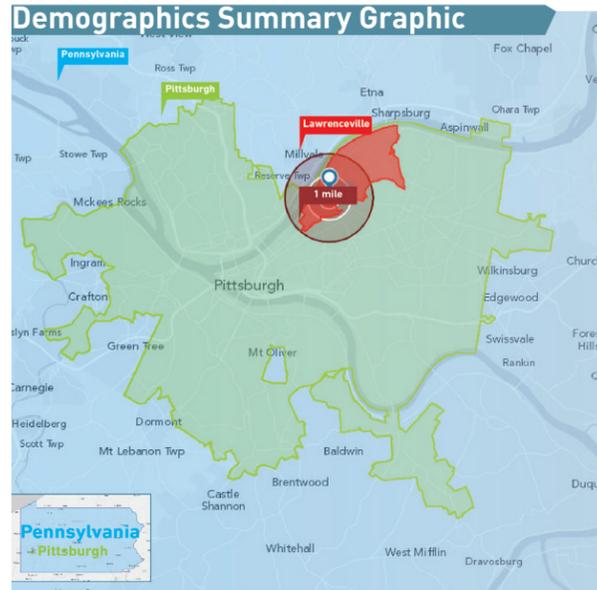


**DEMOGRAPHICS: STUDYING THE NEIGHBORHOOD POPULATION**

Located along Butler Street, Leslie Park is centrally positioned to the Lawrenceville community at large.

Approximately 7,000 people live within walking distance from Leslie Park, which is also well served by bus and bike routes. There are opportunities for extended connections through the neighborhood to key institutions like Children's Hospital, the mixed-use districts along Butler Street and Penn Avenue, and to other nearby parks and greenspaces.

The demographics comparison reveals that the Lawrenceville neighborhood is gaining population despite the City of Pittsburgh having reached its lowest population size in 2010. The community residents earn modest wages and enjoy a relatively good quality of life due to a low cost of living. The median household income for the neighborhood residents is \$32,000, which is 36% below the Pennsylvania state average. The median home value in the neighborhood is \$88,000 making Lawrenceville a very affordable place to live. Lawrenceville has recently experienced a renaissance and has been referred to in various media outlets as entrepreneurial, a 'hipster heaven', a 'go-to' destination, a modern-day edge, and is viewed as welcoming and walkable. These qualities are attracting a younger population.



Source: Copyright 2014 Infogroup, Inc. All rights reserved. Esri Total Residential Population forecasts for 2015. Lawrenceville United.

# EXISTING SITE CONDITIONS

INVENTORY



For a better understanding of the site and immediate surroundings, the inventory and analysis was grouped into four themes, as follows: Circulation, Structure, Programmed Space, and Ecology.

**Circulation** explores how pedestrians, bicyclists, and vehicles access the site, and how they move throughout the park.

**Programmed spaces** list the areas within the park and how they currently perform.

**Ecology** identifies vegetation and natural systems within the park and how they may perform in the future.

**Structure** identifies the many built elements in the park, their physical condition and contribution to the character of the park.

## Circulation

1. Northern gateway into park, connecting to Butler Street. Path leads through tree lawn space up toward the pool area or behind the Boys and Girls Club.
2. Stair access to former pool area leading from the northern gateway off of Butler Street.
3. Fence along northern edge that separates the park from the Allegheny cemetery.
4. Main entrance to Boys and Girls Club building. Faces Butler Street and is adjacent to World War memorial.
5. Entrance to park from Butler and 46th Street intersection. Lined with a circular retaining wall and seating. World War memorial centrally located in this area.
6. Vehicular access as well as pedestrian playground access from 46th Street.



## P Programmed Space

1. Basketball court centrally located, between the building and the parking lot. Enclosed by chain link fence. No accessible entry to the court. Surrounded by concrete retaining walls on two sides.
2. Baseball field adjacent to Allegheny Cemetery, facing west, located in the eastern corner of the park.
3. Existing play structure located on the edge of the site near 46th Street. There is seating around perimeter of playground.
4. Spray feature in play area.
5. Baseball field adjacent to 46th street, facing east, located in the southern corner of park.
6. Paved area and metal bleachers adjacent to the softball/baseball fields.



## e Ecology

1. Front tree lawn on hillside between Butler Street and the pool structure. Space composed of evergreen and deciduous shade trees, as well as a paved path and several benches.
2. Existing grouping of trees along the northeastern edge of park boundary that shade the pool and the eastern corner softball/baseball field.
3. Steep slope from playground to Butler Street. Space includes open lawn near building, a pathway to World War memorial corner of park, and several sets of stairs.
4. Open lawn area shared by two softball/baseball fields.



# S Structure

## EXISTING SITE CONDITIONS

INVENTORY

1. Several sets of stairs connecting Butler Street to the elevated pool area.
2. Tall brick perimeter wall that encloses pool area, with chain link fence attached to the top of wall and base of the elevated pool platform.
3. Existing pool house tower located on the back of the pool house building. Visual relationship with the north, east and west quarters of the park.
4. Existing decommissioned pool, built in 1908. Recently is used for cultural events, including Art Activity Day, Urban Star Party, plein air art workshops, and musical performances.
5. Existing pool house, originally built shortly after the construction of the pool in 1908.
6. Concrete retaining wall that runs along the parking lot edge of the baseball/softball fields.
7. Perimeter chain link fence for the two existing softball/baseball fields.
8. Concrete terrace seating adjacent to the softball/baseball field located in the easternmost corner.
9. Brick retaining wall at stairs near pool.
10. Centrally located linear surface parking lot with approximately 30 parking spaces.
11. 20' tall section of softball/baseball chain link fence adjacent to parking lot.
12. Concrete retaining wall by surrounding basketball court.
13. Estelle S. Campbell Boys and Girls Club of Western Pennsylvania provides after school programs for children in the Lawrenceville area. The 26,000 sq. ft. building was recently built on land leased from the City. Facility also provides programs for seniors through Citiparks.
14. World War memorial located at the corner of Butler Street and 46th Street, erected ca. 1918.
15. Perimeter stone retaining wall along the southwestern edge of park near playground.
16. Precast stone retaining wall that surrounds playground and mature shade tree.
17. Concrete block service building near 46th Street and softball/baseball field.
18. Concrete retaining wall and metal fence. Separates the park from adjacent apartment buildings.
19. Two foot wide concrete drainage channel, over 200 feet in length. Located on the eastern boundary.



S1



S5



S9



S13



S17



S2



S6



S10



S14



S18



S3



S7



S11



S15



S19



S4



S8



S12



S16

## Circulation

1. Create more inviting northern gateway into park. All circulation should be accessible where feasible.
2. Stair access to former pool area leading from the northern gateway off of Butler Street. Consider access to park along area, but since stairs are not universally accessible, explore alternate accessible routes.
3. Promote northern connectivity through fence to cemetery and adjacent neighborhoods.
4. Promote space as both public space and entrance to Boys and Girls Club. Current condition suggests inconsistent and unusable landscape along Butler Street.
5. Entrance to park from Butler and 46th Street intersection. Consider widening and creating more visible node.
6. Vehicular access as well as pedestrian playground access from 46th Street creates conflict. Consider alternative for pedestrian and vehicular access, and relocation of playground.

## Ecology

1. Tree lawn area currently has several large shade trees that should be saved. Consider relationship to Butler streetscape and potential connections to former pool area and rest of the park. This area is also a candidate for several parking spaces with access from Butler Street.
2. Cluster of trees along the northeastern edge of park boundary. [Has been removed since initial site observation]. Consider replacing trees for park edge.
3. Steep slope from playground to Butler Street. Consider alternate transition between memorial and playground (or alternate program/space).
4. Open lawn area shared by two softball/baseball fields. Expand usage for fields to include performance area, walking/jogging, and engagement of open lawn area. Encourage multiple uses for open lawn area.

## Structure

1. Existing set of stairs, consider redesign for accessible alternative.
2. Tall brick perimeter wall encloses former pool area and creates a barrier between tree lawn and the rest of park. Explore opportunities to dissolve barrier and allow for enhanced connectivity through park.
- 3/4/5. Existing pool and structures currently create barrier between east and west areas of park. Consider removal of damaged structures and redesign area to integrate with adjacent open space. Space potentially used as small performance area.
6. Concrete retaining wall that runs along the parking lot edge of the baseball/softball fields creates separation between ballfields and the western side of park. With potential relocation of parking, wall may be removed as well. Reduce wall as much as possible to eliminate circulation barrier to open lawn area.
7. Consider lining perimeter of open space along cemetery border with trees to create vegetated buffer without blocking views.
8. Consider renovating existing concrete terraced seating. Utilization of the existing topography for viewing fields and open space should be expanded beyond single baseball field. As activities or events in the open space may vary, seating along the southern border will promote visibility of all spaces, a unified arched edge, and attractive park destination.
9. Stairs are currently inaccessible. Consider alternatives to improve accessibility and connection to path.
10. Existing parking lot configuration divides park. Cars in the center of the park create conflicts between pedestrians and vehicles. Consider removal of parking area to unify park interior and connectivity between east and west areas of the park. Surface parking can be redistributed to potential lot on Butler Street or along adjacent streets.
11. 20' tall section of softball/baseball chain link fence creates park barrier. Consider removal or replacement.
12. Concrete retaining wall surrounding basketball court reduces visibility and accessibility within park. Consider relocating court.
13. Boys and Girls Club building reduces connectivity within the park. Enhance relationship between B&G Club and adjacent park program/activities.
14. Memorial should be more visible. Consider renovation and connection to streetscape and park.
15. Perimeter stone retaining wall along the southwestern edge creates valuable separation between street and playground. Consider making more permeable so pedestrians can more easily access park interior from sidewalk.
16. Precast stone retaining wall around playground. Explore relocation of playground and incorporate mature tree into new space.
17. Explore opportunity to remove/relocate concrete block service building near 46th Street to improve visibility of ballfields.
18. Consider planting to provide filtered screening along eastern edge of ballfields. Existing apartments provide eyes on the park, but light and noise from park activity may create conflict between residents and park users. Filtered screen also establishes a consistent green edge to the park, understanding that adjacent apartment complex may change or redevelop over time.
19. Incorporate existing drainage channel system into overall park stormwater management strategy.

## Programmed Space

1. The existing basketball court is in poor physical condition and serves as a barrier in the center of the park. Fencing and retaining walls discourage connectivity. Consider relocating basketball court away from center of the park.
2. Baseball field adjacent to Allegheny Cemetery, facing west, located in the eastern corner of the park. Consider more ideal orientation of field so that it does not face west.
- 3/4. The existing playground is accessible from 46th Street, but may be too close to street. Few barriers or enclosures create risk of children migrating out of playground onto street. Consider relocating playground, and promote phasing out existing playground equipment in favor of natural playscapes.
5. Create more attractive/welcoming edge of park/baseball field adjacent to 46th Street.
6. Consider renovation or redesign of field observation area. This area of the park is visible from 46th Street and should express the welcoming nature of the park beyond the ballfield.

## COMPOSITION: SITE SYSTEMS

### CIRCULATION

- + Park entrances are located along Butler Street and 46th Street.
- + Park paths are currently used as short cut for local residents.
- + Overall park pedestrian circulation is interrupted by the surface parking lot in the center of the park.
- + Many of the paths are currently non-accessible: steps, steep slopes, poor path quality.
- + Perimeter circulation along Butler Street and 46th Street.

#### Recommendations

- + Improve accessible circulation into and within park.
- + Promote intuitive wayfinding with clear circulation routes and signage.
- + Weave paths through future park activity areas.

### VEGETATION

- + Existing mature trees throughout park.
- + Tree line along northern edge between park and cemetery has been removed due to infrastructure construction.
- + Park landscape currently composed of deciduous trees and turf lawn.
- + Minimal plant diversity and native plant material.

#### Recommendations

- + Promote a native and diverse landscape.
- + Promote a planting palette with seasonal interest.
- + Retain as much existing shade canopy as possible, and add where necessary.

### HYDROLOGY

- + Current strategy includes no green infrastructure.
- + Water drains toward Butler Street and 46th Street.
- + Impervious surfaces include pool, surface parking, and walkways.

#### Recommendations

- + Promote a sustainable stormwater strategy with raingardens, bioswales, and bioinfiltration basins.
- + Reduce the amount of impervious surfaces throughout the park.

### WALL AND BARRIERS

- + Wall used to provide usable terraces throughout park: ball fields, parking, pool deck.
- + Walls create barriers between areas of the park, discourages pedestrian circulation within park setting.

#### Recommendations

- + Regrade site to reduce the amount of walls and barriers encountered by pedestrians.
- + Remove unnecessary walls throughout park.
- + Where walls are to remain, promote a strategy of integrating the walls into the topography and park design.

### ACTIVITY AREAS

- + Park presents itself as a collection of independent activity areas, minimal continuity.
- + Evaluate relevance of existing park areas, and recommend new programs based on community feedback.

#### Recommendations

- + Promote continuity between program areas.
- + Design areas suitable for large and small gatherings.

### HYDROLOGY

- + Butler Street edge of park is within commercial corridor.
- + Transition from commercial to residential along 46th Street.

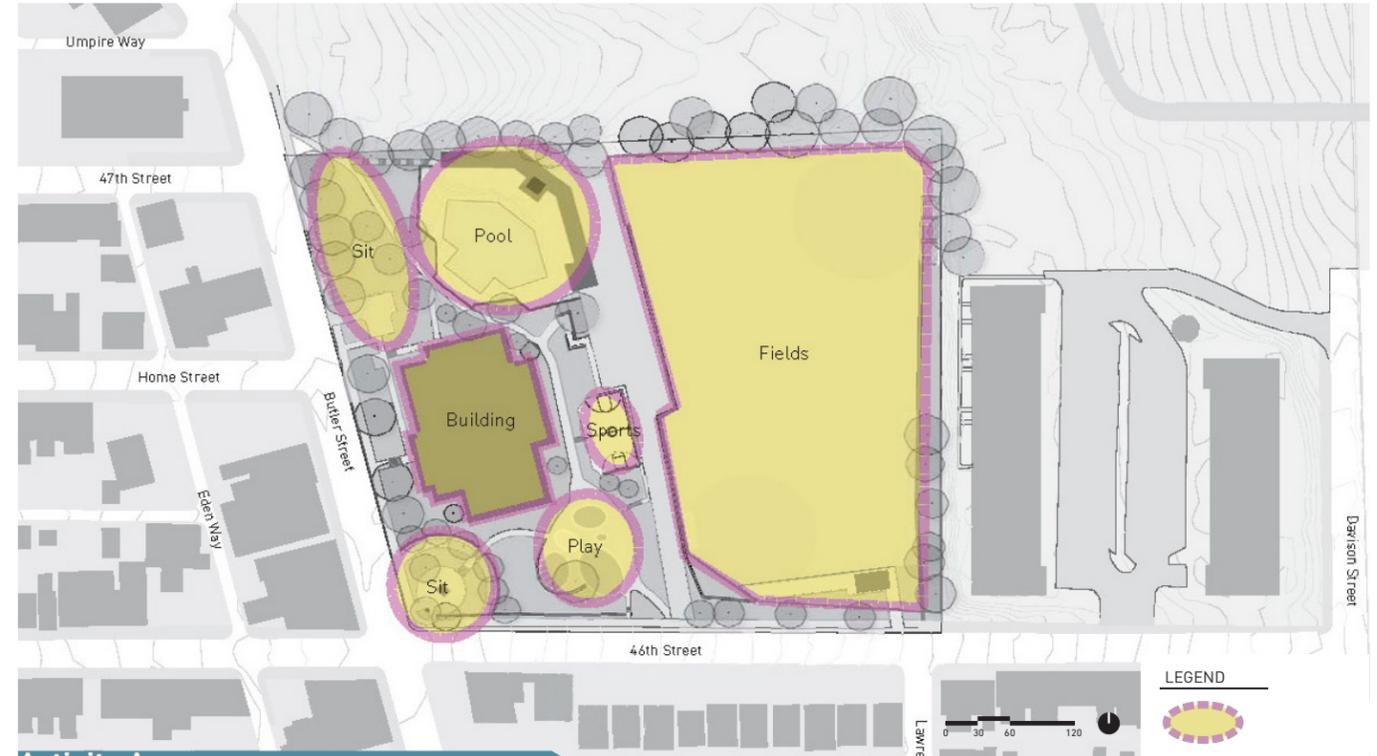
#### Recommendations

- + Improve Butler Street streetscape with green infrastructure, street trees, paving materials, and site furnishings.
- + Consider views from single family dwellings across 46th Street.

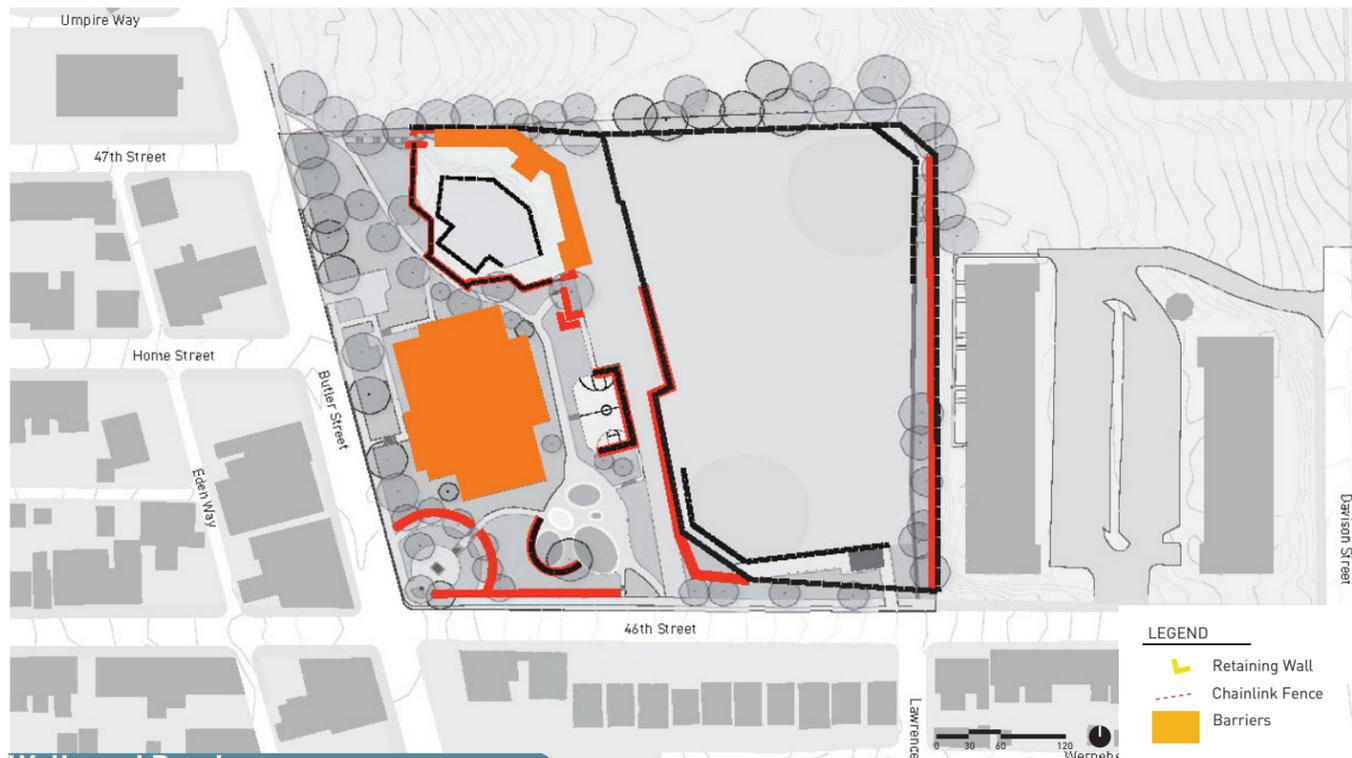




Hydrology



Activity Areas



Walls and Barriers



Land Use



ALLEGHENY CEMETERY

FORMER POOL  
STRUCTURE

BOYS & GIRLS CLUB

WORLD WAR MEMORIAL

BALLFIELDS

PLAYGROUND  
AND SPLASHPLAY

BUTLER ST

46TH ST

## Existing Site Section and Context Diagram

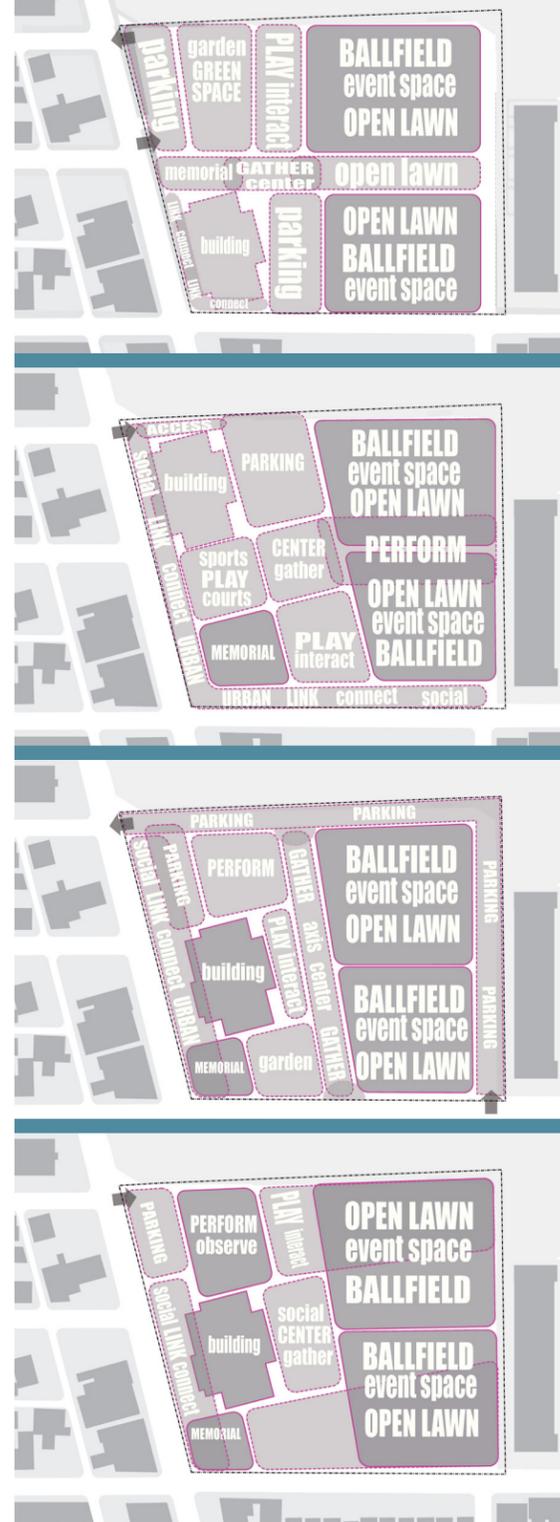


### BE INNOVATIVE: IDEAS

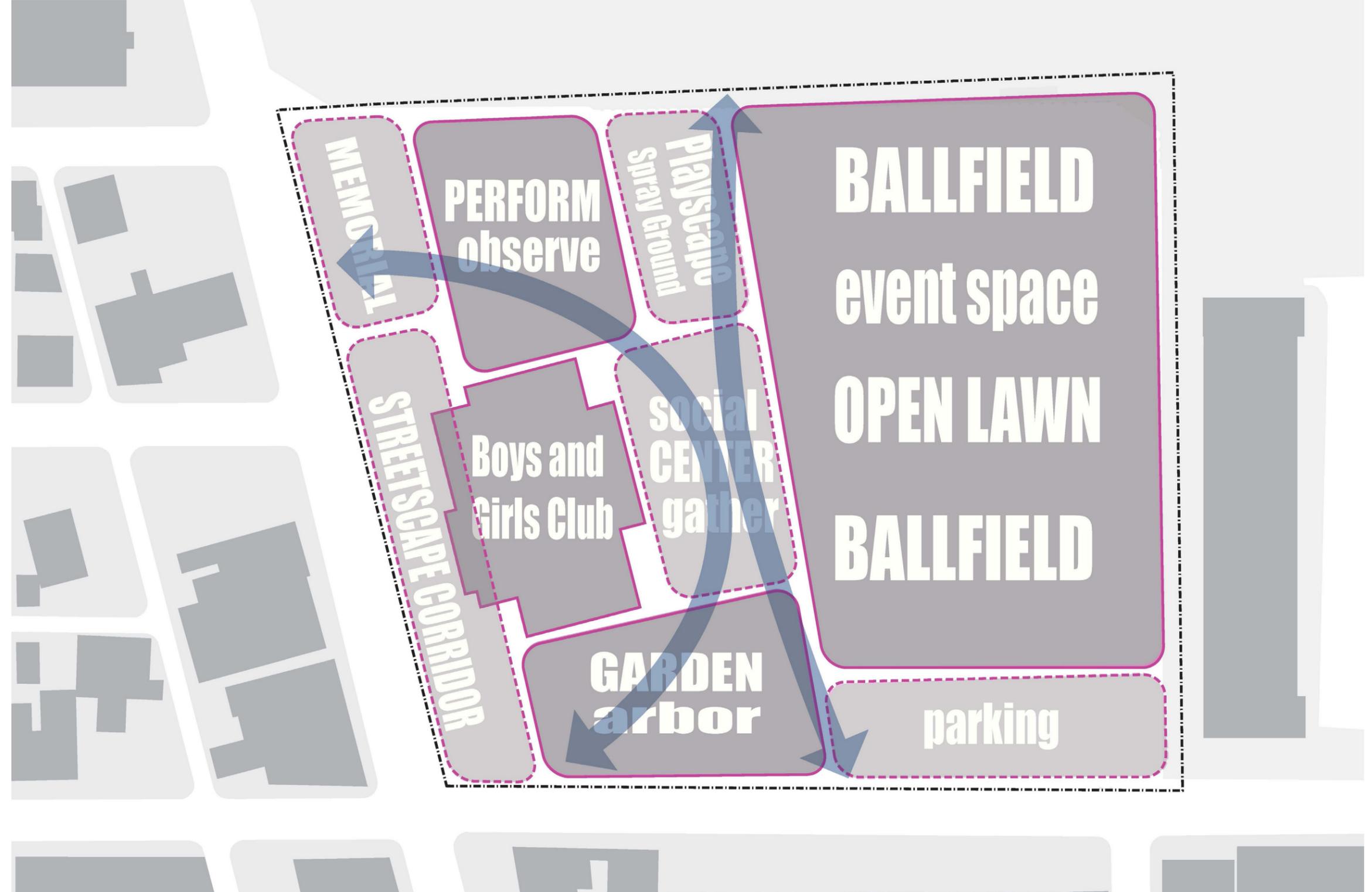
1. Promote connectivity between the park and the surrounding neighborhood.
2. Promote connectivity within the park by minimizing pedestrian / vehicular conflict.
3. Promote green infrastructure and sustainable stormwater management strategies.
4. Promote more engaging relationship between Boys & Girls Club and surrounding park.
5. Promote park spaces as resource for improved health and wellness, social gatherings, and natural urban open space.
6. Engage Butler Street and 46th Street, providing viewing windows into and out of the park.



**Program Exploration**



**Preferred Program Framework**



BEST PRACTICE STUDY:

Health and Wellness

Play is much more than a catalogue structure. It's an opportunity to socialize, engage with nature, recreate, and develop one's imagination. A naturally inspired playground encourages children to use their imaginations and engage the landscape and structures in their own unique ways.

The deliberate integration of topography, plant material, water, and continuous play promotes a concept that encourages independent decision-making and interaction. Playscapes should be designed with every child in mind: inclusive play and accessibility are a prime focus. Special attention is given to all children no matter their ability level.

Playscapes are not only for children, but for the entire community. The experience of observing and participating in play should be timeless and inclusive for children and adults. A visit to the playscape should be comfortable, safe, and engaging, physically and mentally. Seating integrated into the landscape, strategically placed trees for shade in the hot summer months, incorporation of seasonal color, and the use of natural materials are all design strategies that are encouraged in Leslie Park.

The images on the following pages are examples from best practice and precedent parks from around the world. These are intended to inspire the design of Leslie's playscape.



Integrate topography as a play element



Integrating play into the topography



Natural play space



Natural play space



Be bold with color and lines



Taking advantage of topography



Encourage continuous play



Play for all ages



Integrate seating into play experience



Games and activities for all ages



Climbing walls integrated into landscape



Unique play opportunities



Court integrated into surrounding landscape



Games and interaction for all ages



Play spaces that are sculptural and colorful



Encourage spaces that have multiple uses



Encourage spaces that have multiple uses

BEST PRACTICE STUDY:

Nature

Urban parks not only serve as a destination for recreation and community gathering, but also as a resource for seasonal color, growth, and ecological education. The landscape for Leslie Park should be composed of natural ecological systems and native plant material. Raingardens, bioswales, and infiltration basins should be incorporated throughout the park, performing as stormwater management and educational opportunities. Plant material should be selected to provide a variety of species, colors, textures, and growth habits.

Interpretation

The history of the Leslie Park has the potential to be expressed through a variety of means: interpretive graphics, signage, environmental graphics, art, and sculpture. In addition to honoring the history of Leslie Park and its visitors, the culture of the people and community of Lawrenceville should be expressed as well.

Stage

Parks are a combination of spaces for prospect and refuge -- where people can both see and be sheltered. Whether the performer is the park visitor or the park itself, Leslie Park has the capacity to be the stage for a variety of events. These can be both large and small, planned and spontaneous, and presented year-round.

Nature | Performative + Authentic



Artistic expression of stormwater management



Stormwater management



Seasonal color



Spring flowers



Evergreen plantings

Museum | Cultural Expression



Tell a story



Express yourself



Interpretive graphics

Stage | Perform + Express



Space for playing in the snow



Four season park



Interactive art installation



Community gathering



Flexible market and vendor space



Ageless performances



Engage with dancing water



# DESIGN MOTIVATION



## *RESPONSIVE:* BUILDING THE DIAGRAM

The existing study area for Leslie Park is presented as a neighborhood green space with minimal recreation and entertainment zones or compartments. The park is currently accessed along Butler Street and 46th Street, establishing its western and southwestern borders. These entry points, several of which are not universally accessible, link the park to the surrounding streetscape and neighborhood.

During the Grounding Phase of the master planning process, the Design Team indicated several key structures as “Givens.” These existing structures / areas of the site are considered vital to the past, present, and future use of the park based on observation and community input through multiple engagement events. The “Givens” outlined in this Master Plan report are as follows:

- + Boys & Girls Club;
- + Ballfields;
- + Center structure of former poolhouse.

Dissolving the edges of the park and the barriers within the park will provide a more accessible and convenient network of pedestrian circulation, promoting both physical and perceived connectivity between the park and the surrounding neighborhood. The Master Plan recommends the following strategies for improved accessibility and connectivity:

- + Provide more accessible routes into the park;
- + Provide for future access to Allegheny Cemetery;
- + Remove unnecessary walls and barriers within the park for fluid circulation;
- + Maintain continuous pedestrian and bicycle paths.

ORGANIZE: BUILDING A KIT OF PARTS

The development of concepts for the Leslie Park Master Plan involved a variety of influences and program opportunities. As the team reviewed and explored these influences, three themes emerged as motivation for park design.

**Hydrology** - The topography of the park allows for flow of water across the site. Water can be expressed throughout the park in a variety of methods: stream, raingarden, water fountain, etc. Below are a series of icons that the team developed to explore the various ways water might be introduced or expressed in Leslie Park.

**Seating and Gathering**- Promoting a space of comfort and relaxation, the park should provide ample opportunities for seating and gathering throughout the year. Both standard park benches and new colorful furnishings should be considered to provide variety of space types.

**Play and Landscape Spaces**- Parks are a composite of outdoor recreation and landscape expressions. Leslie Park should reflect a variety of landscapes for park visitors throughout the year. Below are a series of icons that represent a catalogue of spaces that could be created within Leslie Park.

LESLIE PARK = THREE THEMES:

“RE\_LESLIE” | “CONFLUENCE” | “FOLDING LANDSCAPES”

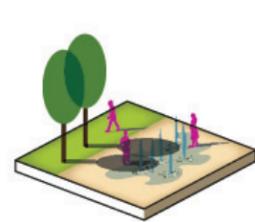
Three approaches were developed in the concept stage for Leslie Park. These concepts contain a wide variety of ideas that were generated by community input plus a thorough site inventory and analysis. The preferred concept is shown on the following page. Additional concept alternatives can be viewed in Appendix 6.2 of this report. All the Leslie concepts have the following in common:

- + Improved visibility, accessibility, and neighborhood connections;
- + Pavilion for picnics, programs, classes;
- + Retention of a portion of the existing pool structure;
- + Green infrastructure for stormwater management;
- + Lighting and furnishings;
- + Improved sightlines for baseball/softball;
- + Water feature/splashplay.

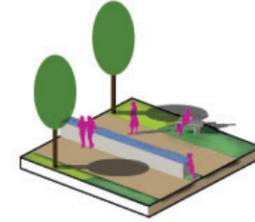
Hydrology



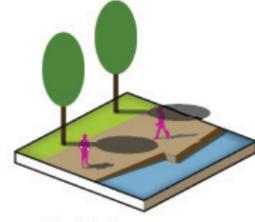
stream



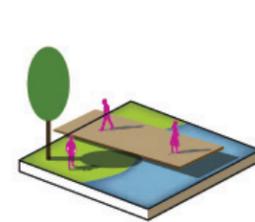
water feature



formal water feature

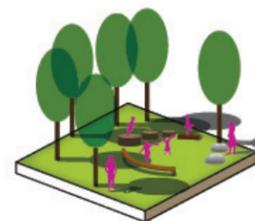


path / trail

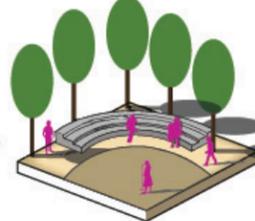


pier / overlook

RE-Arsenal



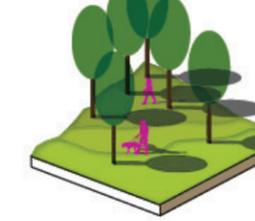
natural play space



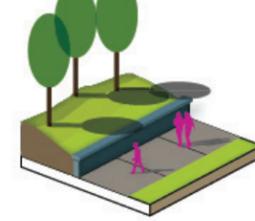
performance



seating

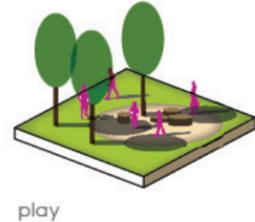


mature woodland

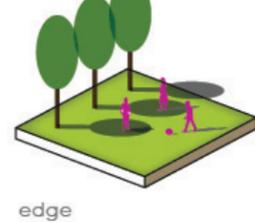


historic perimeter wall

River of Trees



play



edge



massing



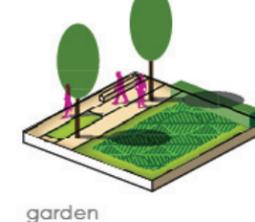
tree house



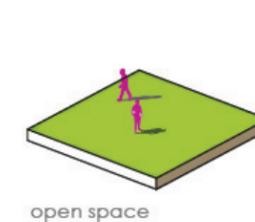
nostalgia



path / trail



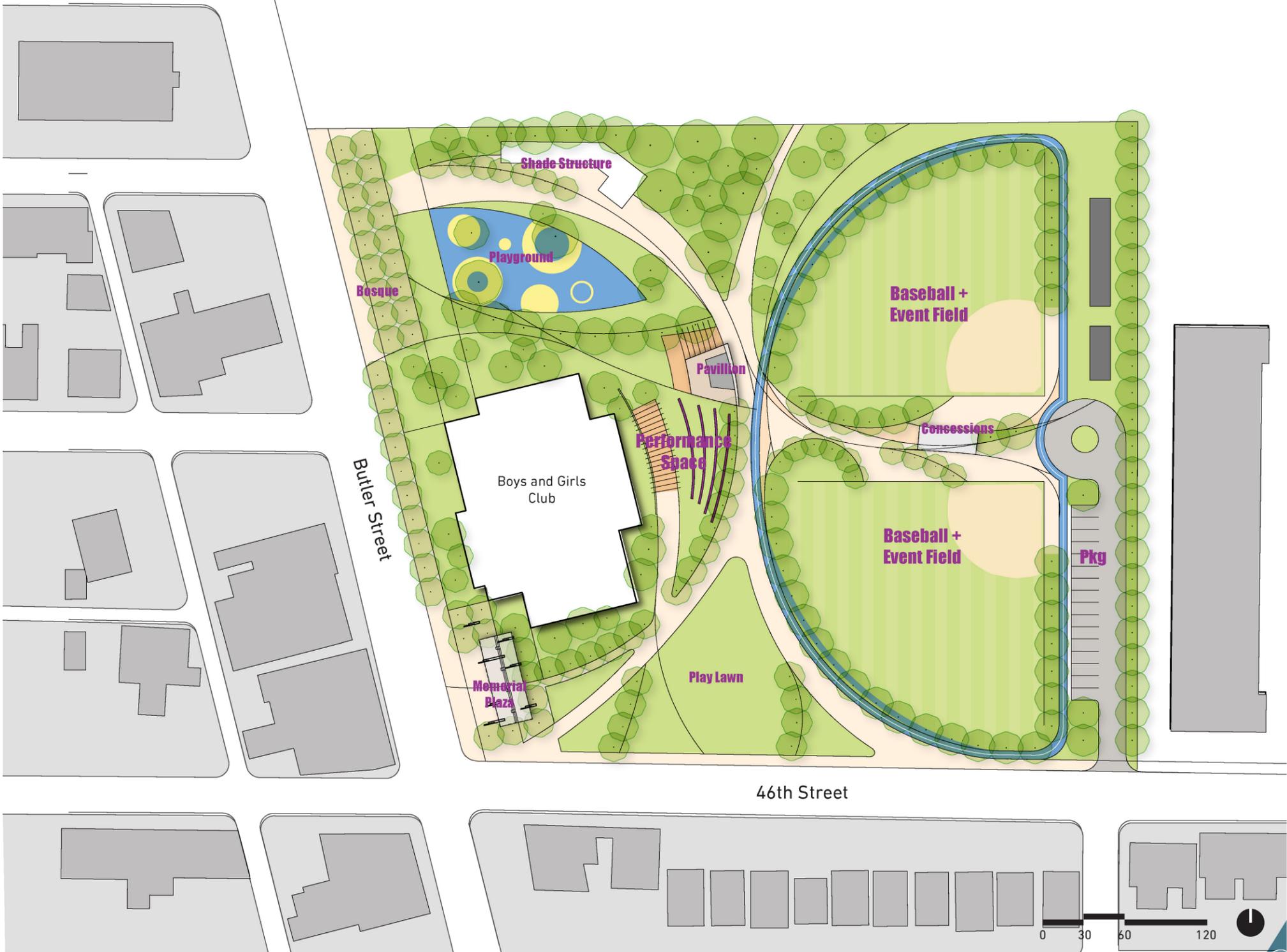
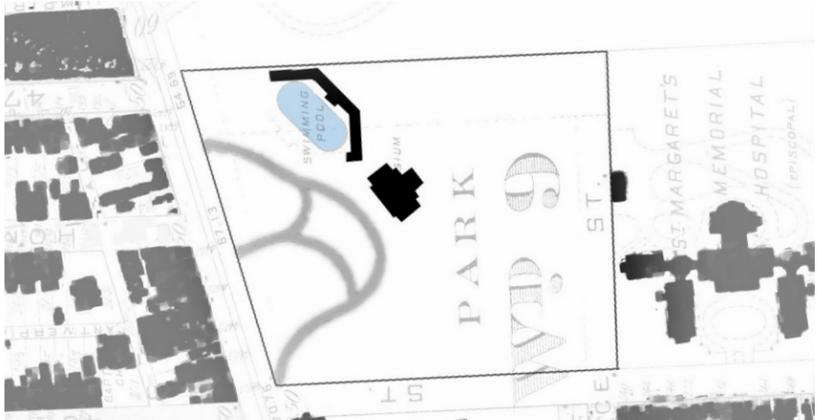
garden



open space

PRELIMINARY CONCEPT DIAGRAM

This concept reintroduces the historic pattern of an arching walkway to pull people into the park space. Along the walkway the visitor encounters a gathering space adjacent to the southwest façade of the Boys and Girls Club. This area includes a pavilion for gathering and shelter from the summer sun. The plan also includes a playscape that incorporates several of the existing pool structures/features into the play and observation experience. The reconfiguration of the ballfields and event space provides a more efficient layout for observation and gathering, including a pavilion for concessions and a possible restroom facility. The fields are bordered by a walking/jogging track to promote the park as a destination for exercise. The surface parking has been relocated to the edge of the park property, completely removing it from the interior of the park and reducing pedestrian / vehicular conflicts.

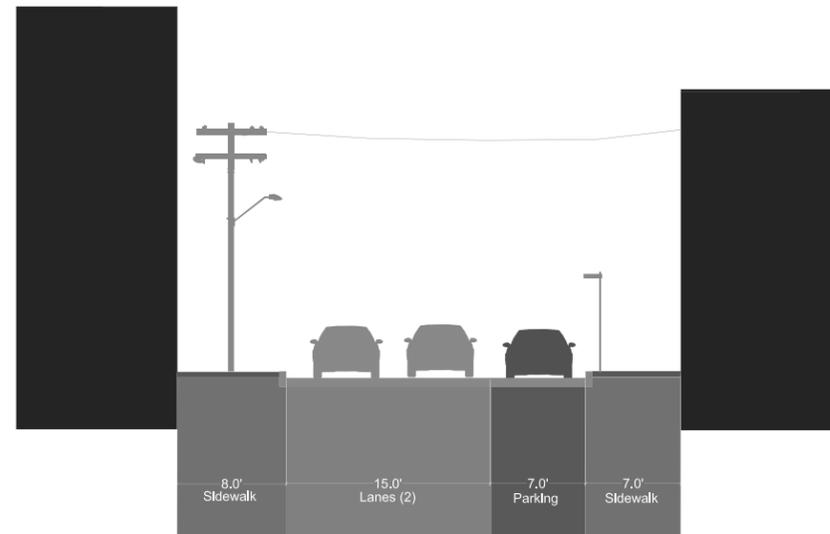


**RESPONSIVE: PERFORMATIVE STREET OPTIONS | DAVISON ST**

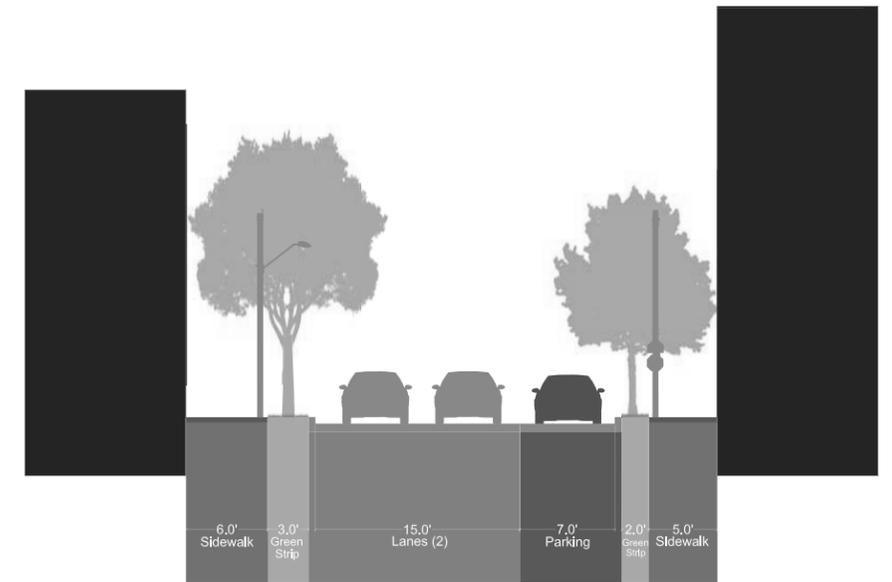
At the scale of the neighborhood, Arsenal and Leslie Parks are important components of an overall network of open spaces in Lawrenceville. Linking the green and open spaces throughout the neighborhood will promote safer pedestrian/bicycle circulation and foster a healthier community. This master plan explores the link between Arsenal Park and Leslie Park, which is located at the corner of Butler Street and 46th Street.

Davison Street currently provides an opportunity for pedestrians and cyclists to flow between Arsenal and Leslie Parks, enjoying reduced conflicts with vehicles, as compared to Butler Street, Lawrenceville's commercial corridor. Right-of-way width is narrow throughout the Davison corridor, making a continuous tree lawn more challenging. In these situations, street trees could be placed at regular intervals within bump-out planters in the on-street parking lane. Streetscape treatments should also be explored for safe pedestrian crossing and traffic calming.

**Existing**

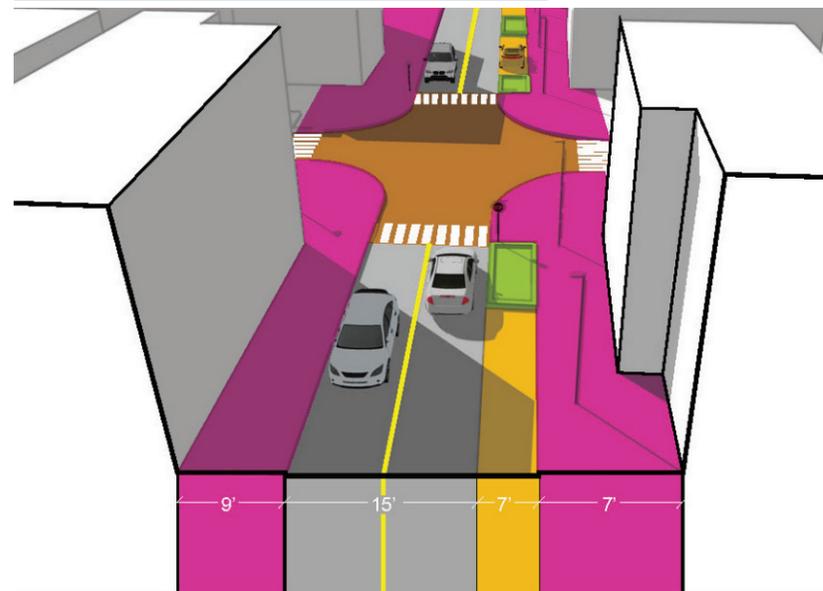


NORTHEAST DAVISON STREET

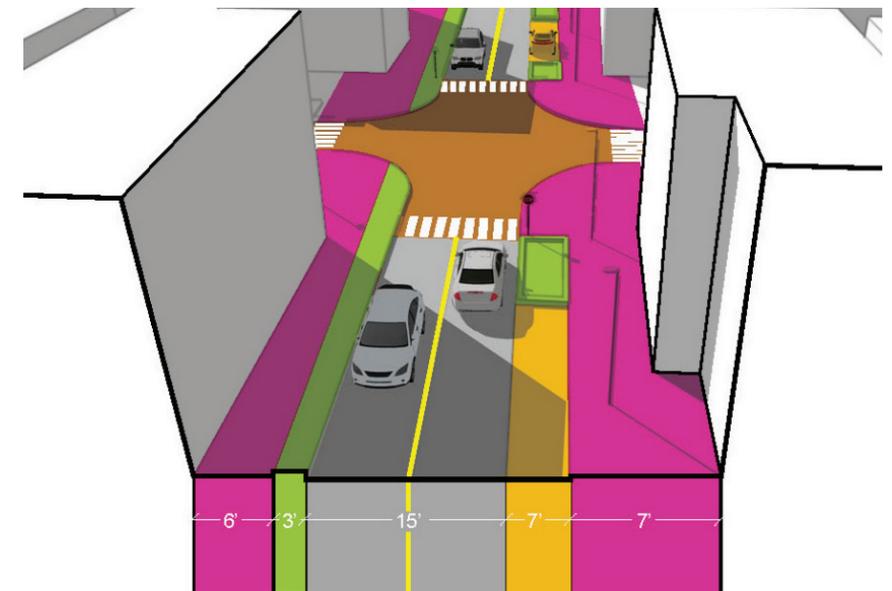


SOUTHWEST DAVISON STREET

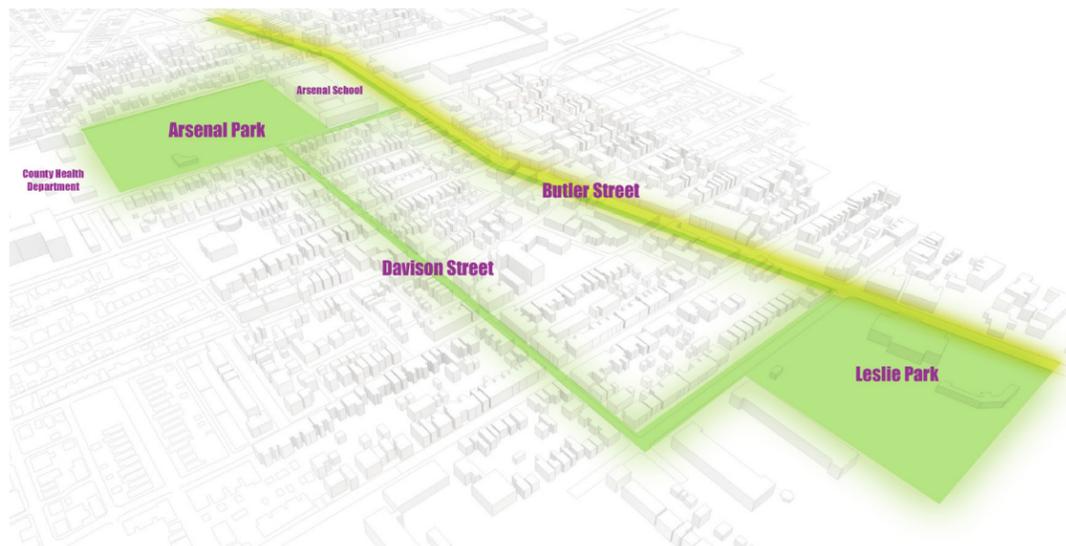
**Options**



NORTHEAST DAVISON STREET

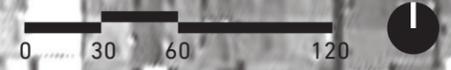
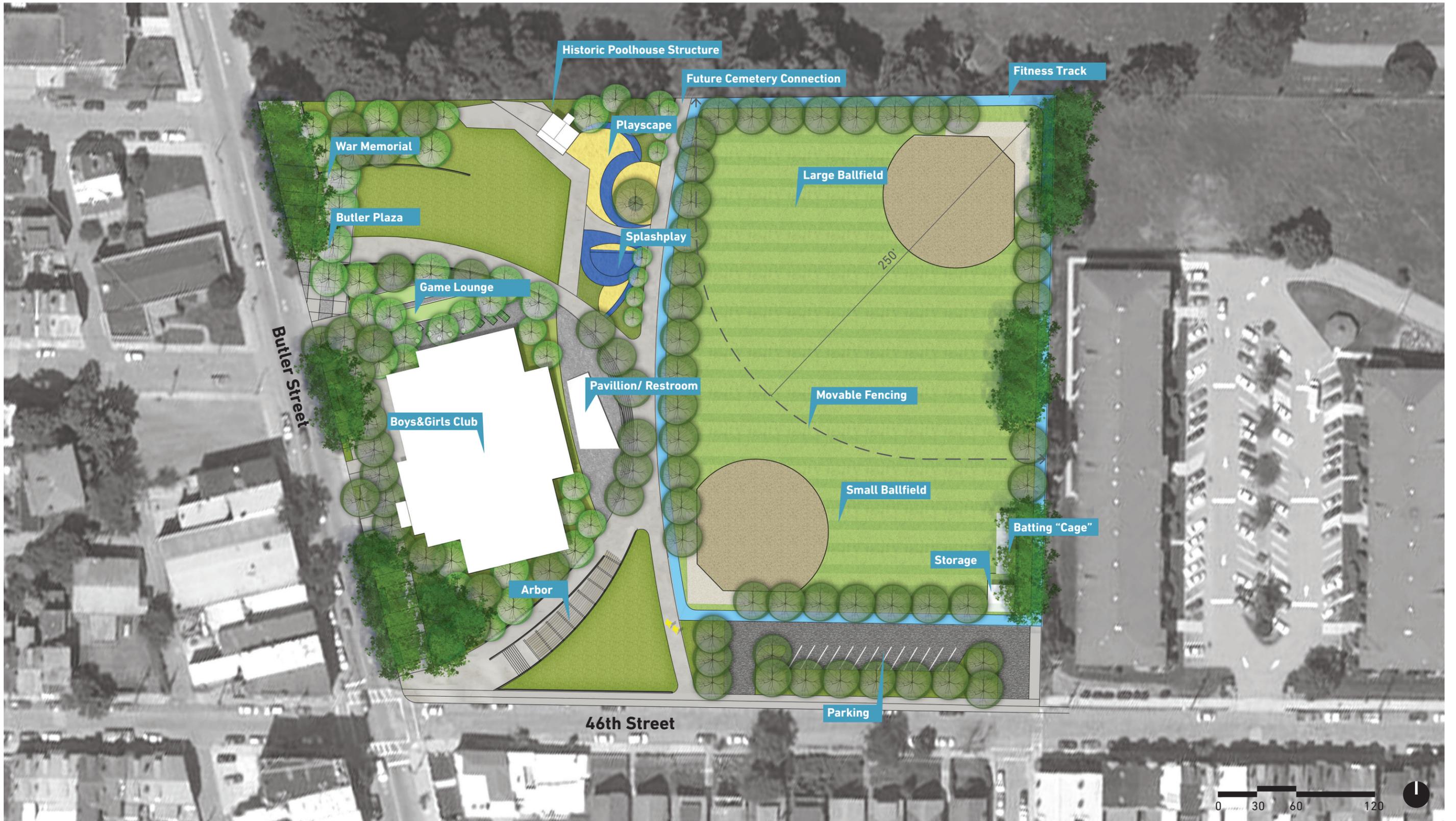


SOUTHWEST DAVISON STREET



# THE MASTER PLAN





## PLAYSPACE: PLAYSCAPE + SPLASHPLAY

Located on the north central side of the park between the north ballfield and the historic pool building, the splashplay and adjacent playscape area are envisioned to actively engage park visitors.

Utilizing segments of the existing pool and structure, this area is integrated into the sloping landscape and repurposed center poolhouse. Promoting community health and wellness within Leslie Park, this series of connected spaces provides families and children with a destination for recreation and socialization.

Jetted fountains and soft surface material encourage park visitors to interact with an ever-changing water jet display. This water feature encourages play from children and adults alike. The playscape promotes running, climbing, pulling, and jumping through play equipment, open space, and a dual-level play area.

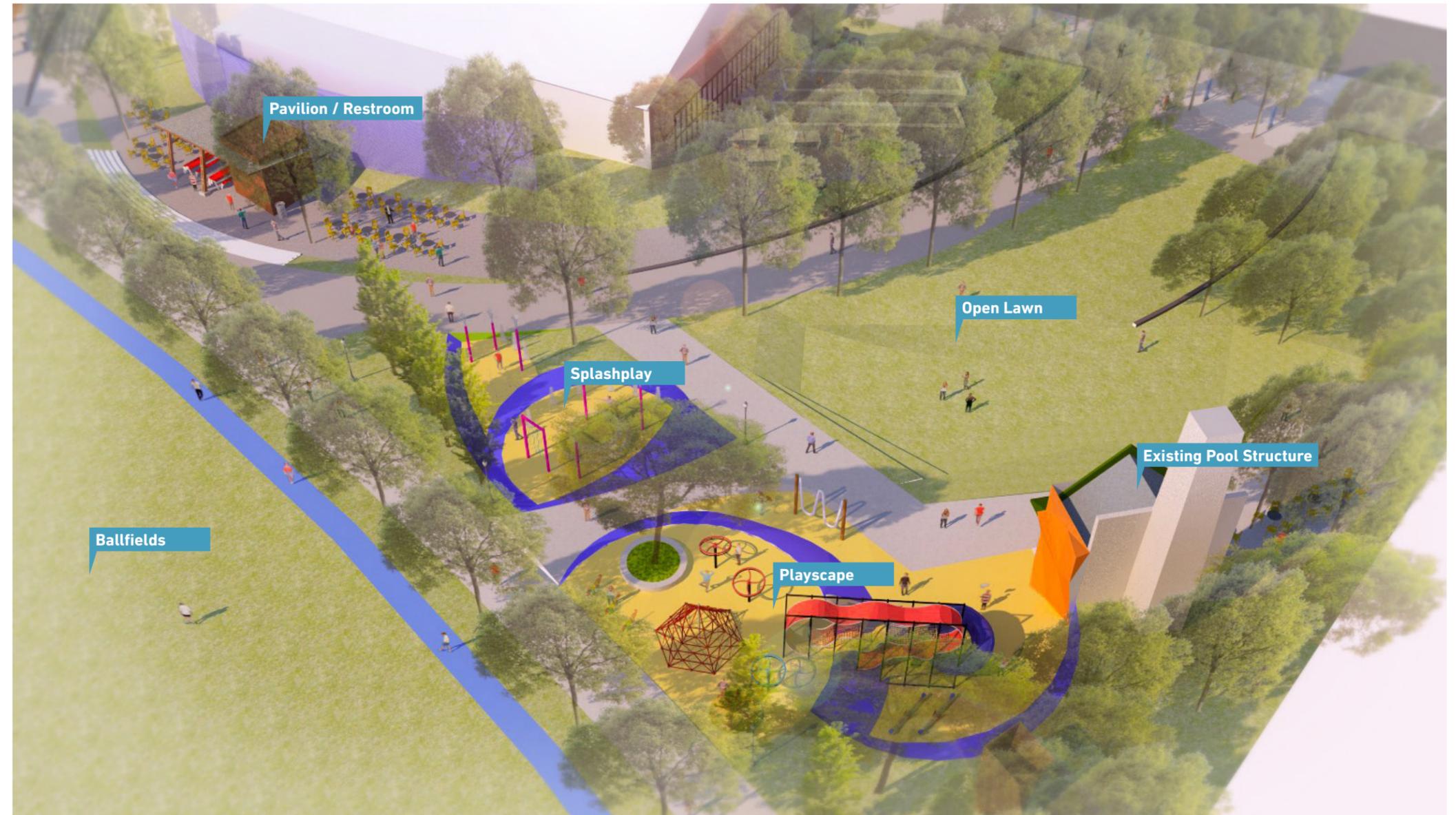
The visual and written guidelines for the playscape and splashplay are intended to promote the future development of the spaces within. These are intended to be placeholders and not specific design solutions.

### Playscape Highlights

1. Taking advantage of the sloping topography, the playscape terraces down the hillside provide a variety of play spaces that are unified through various play opportunities and equipment.
2. Rubberized play surface for safety and color. Color selection should be determined with community input during the design development phase of the project.
3. Installation of large shade trees to provide immediate canopy during the hot summer months.
4. Accent and security lighting: provide mixture of overall light for safety, and strategically place accent lighting to highlight various spaces.

### Splashplay Highlights

1. Combination of various above-ground water features: spray, mist, jets, etc.
2. Mixture of rubberized and concrete surfaces for safety and color.
3. Splashplay integrated into the sloping topography of the park, provide terraced spaces in which to play with water features..
4. Accent and security lighting: provide mixture of overall light for safety, and strategically place lighting to highlight various spaces and playscape elements.

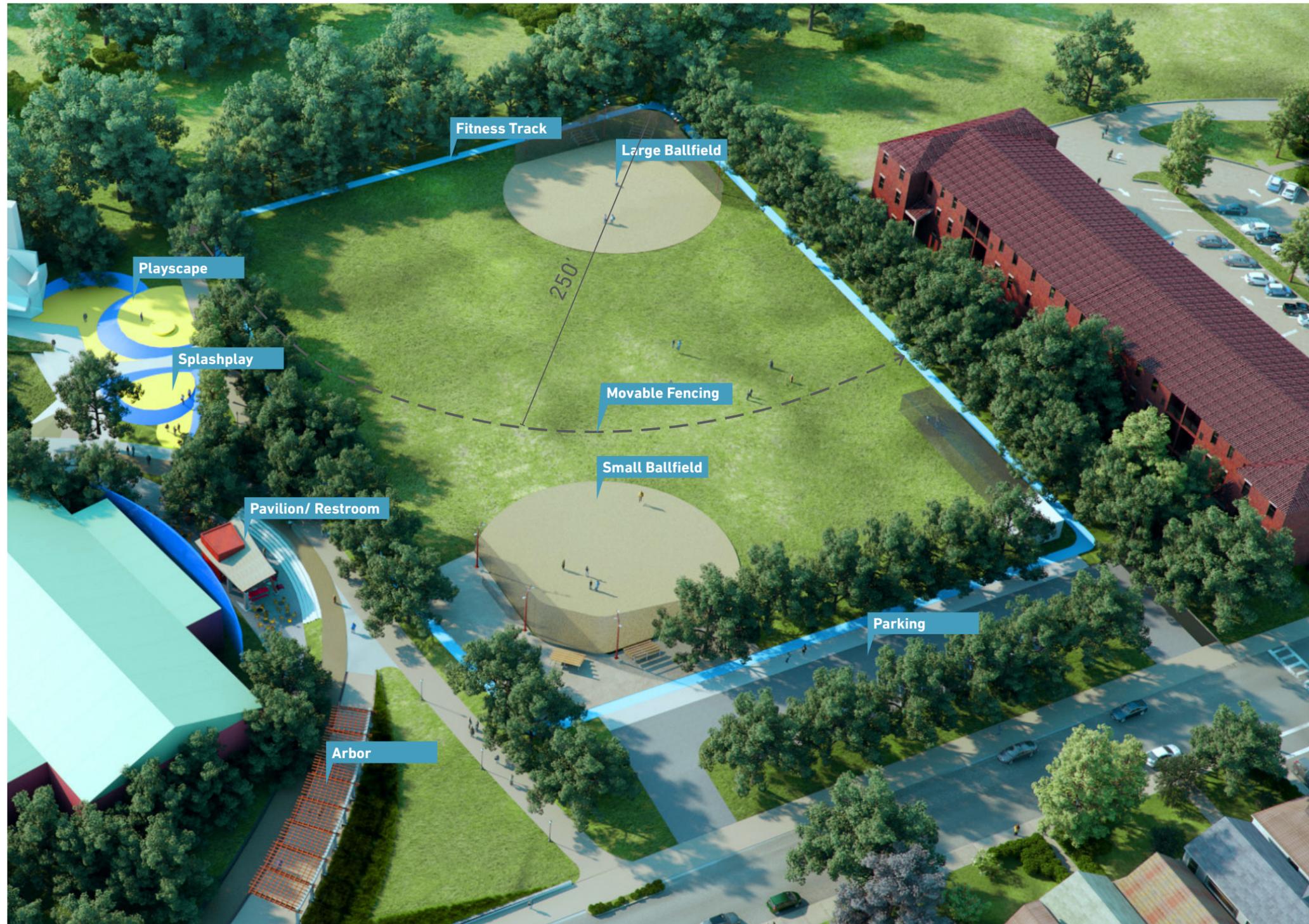


**“People are placing a higher value on fitness and social interaction these days. The idea that most family recreation and social activity occurs in the backyard is no longer true. People are searching for the sense of connection and community...”**

Urban Land Institute (ULI) 2014 Open Space Development Outlook

# COMPONENTS OF PLAN

BALLFIELDS + FITNESS TRACK



## SPORTS: BALLFIELDS + FITNESS TRACK

The revitalized ballfields are a prominent element in the park, and have served as a key active space for years. With new fencing, bleachers, and storage facility, the baseball fields will continue to engage park visitors for years to come.

To promote health and wellness, the fitness track that encircles the two baseball fields enables the community to exercise, even while a baseball game is in progress. Framing the fields as an active space, the fitness track allows park visitors to view all angles of the park and takes them past the playscape, splashplay, pavilion, and arbor. The fitness track is intermittently lined with benches, so resting or viewing a baseball game is easily done. Also there is a possibility of installing a grouping of outdoor exercise equipment along the fitness track.

The parking area, formerly dividing the park, now sits parallel to 46th Street, conveniently located adjacent to the south ballfield, fitness track, and pathway to the center of the park.

### Highlights

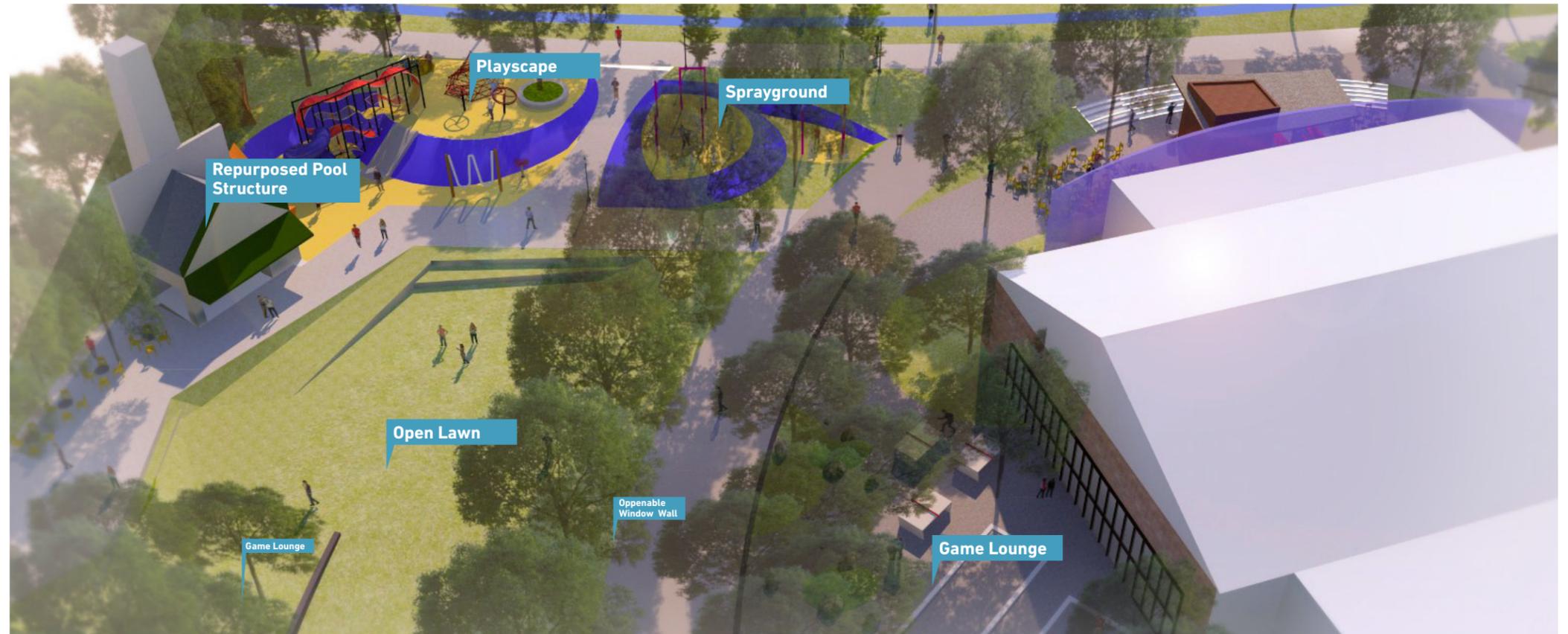
1. Regraded ballfields with native turf fields and athletic soil for infields.
2. New fencing, bleachers, and dugouts to be placed behind each ballfield.
3. Athletic field lighting to be positioned to provide maximum light for playing area and minimal light pollution to surrounding neighbors and to protect dark skies.
4. Perimeter Fitness Track - Two-lane (6-8 feet wide) rubberized surface walking and jogging. Color to be determined in future phase.
5. Installation of mature shade trees around perimeter of ballfield space, promoting shaded observation areas as well as giving definition to the ballfield space. Integrate evergreen plant material in areas where views into and out of the park should be screened.
6. Portable fencing can be placed to separate the fields and define their use as needed.

## ACTIVITY: GAME LOUNGE

Located next to Butler Plaza and the Lawn, the Game Lounge will provide space for bocce ball, ping pong, and surfaces for impromptu games between neighbors and park visitors. The Lounge is intended to be a place of social interaction and friendly competitiveness, as well as an extension of programs offered at the Boys and Girls Club and by Citiparks's Senior Center. The Master Plan recommends future renovations to the northern exterior wall of the facility, providing a more transparent facade and a new physical connection between interior and exterior spaces.

### Highlights

1. Combination of large shade tree species provide shade for the entire Game Lounge space.
2. Permeable and accessible surface to promote an inclusive and green space. (crushed stone)
3. Game Features: Bocce Ball, Ping-Pong, Horseshoes, Cornhole, Checkers, Chess, etc.
4. Uplighting for dramatic effect in grove of shade trees. Canopy lighting to provide light for gaming.
5. Future renovation of Boys and Girls Club to provide physical and visual link between indoor court and Game Lounge.



PATH + CIRCULATION: PAVILION + FITNESS TRACK

Located at the heart of the park where several paths intersect, the Pavilion serves as a gathering point and landmark for visitors and the surrounding neighborhood. Its position next to the Boys and Girls Club, at what is currently a back door, creates a new face to the park and an opportunity for better integration between Club programs and the park in the future.

Concessions, restrooms, furnishings, tree canopy, and seasonal planting beds are several items recommended for this area.

Highlights

1. Pavilion is combination restroom, concessions, and shade structure. It is centrally positioned to serve all spaces within the park: Playscape, Splashplay, Ballfields, Arbor, Game Lounge, and Fitness track.
2. Steps/seating integrated into hillside to provide transition between terraces and provide seating for visitors.
3. Shade tree and native vegetation should be planted to create an attractive and seasonal destination.
4. Include site furnishings and lighting to provide an inviting and comfortable space for gathering.
5. Fitness track framing the fields as an active space allowing for jogging/walking on soft surface and with possible area for exercise equipment.



PATH + CIRCULATION: ARBOR

The prominent entrance on the corner of 46th Street and Butler Street invites visitors to take a stroll under the arbor along this main walkway into the park. The overhead structure memorializes the original park design and is brought back to life as an updated, contemporary signature element for the new Leslie Park.

This area of the park is envisioned as a calm yet interactive space that draws visitors into the park. Low seatwalls line both the accessible pathway and arbor steps/pathway. The adjacent lawn beyond the arbor is an open area that presents opportunities for many different activities, from throwing a football to having a picnic.

Highlights

1. Arbor structure to reflect historical arbor from the original park design. Construction materials to consist of wood and steel.
2. Integrate signage into seatwall and arbor structure to serve as educational or artistic moments and to honor donors and historical park visitors.
3. Native vegetation should be planted in the space to promote an attractive and seasonal destination.



## ACCESS: BUTLER PLAZA + WAR MEMORIAL

Butler Plaza is unified by a grid of trees, providing shade and a buffer between the park and Butler Street. The trees continue along the edge of the street, establishing a shaded and inviting streetscape to the corner of 46th Street. The park's edge along Butler Street is revitalized as an active and more useable space, promoting efficient access to the space by pedestrians and bicycles.

Colorful interpretative signage and environmental graphics are positioned prominently within Butler Plaza, communicating the history of the area. The Design Team envisions a combination of vibrant graphics, specialty lighting, and contemporary materials for the signage, creating an educational and aesthetically pleasing entry to the park.

Butler Plaza acts as a window and transition zone into the programmed space next to the historic pool building. The baseball fields and active play area are visible from Butler Street, encouraging the community to interact with the park space.

A key recommendation for the proposed Butler Plaza is the relocation of the War Memorial currently located in a small court at the corner of Butler and 46th Streets. In an effort to honor and celebrate those that served in the war, the memorial statue should be located in a prominent and visible location, with ample space for pedestrians and observers to circulate and read the content on the base of the statue.

### Highlights

1. Mixture of permeable pavement and concrete surfaces to promote durable materials and green stormwater management.
2. Double row of street trees to provide shade along Butler Street corridor. Selection of large caliper trees should be considered for immediate impact in the plaza space.
3. Relocated War Memorial from corner of Butler Street and 46th Street to the Butler Street Plaza.
4. Interpretive signage displaying the history of Leslie Park and Lawrenceville.



*Parks offer the opportunity for community interaction and the development of “social capital” that can help increase and improve their use, surveillance, care, maintenance, and safety.*

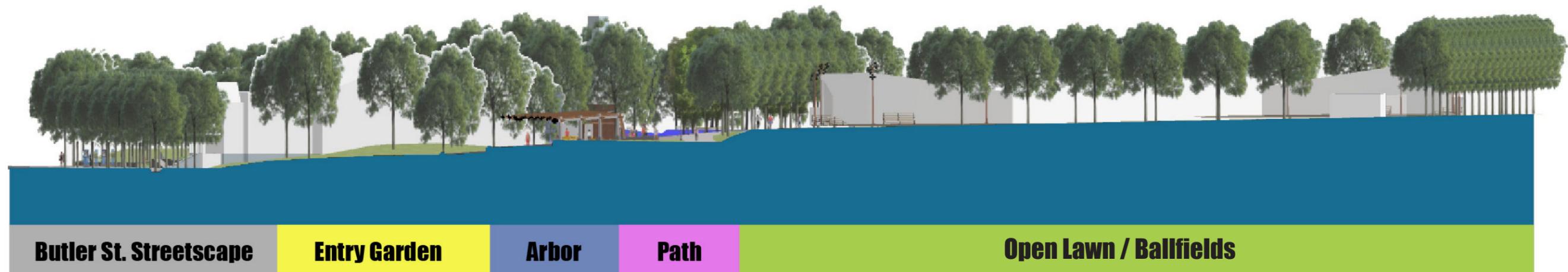
**SCULPTING: SHAPING THE PARK FOR THE FUTURE**

The sections on the opposite page illustrate the proposed conceptual grading recommendations for the park. The sections, cut through the site east/west, illustrate the strategic sculpting of the site per the master plan's recommendations to increase accessibility for all park.

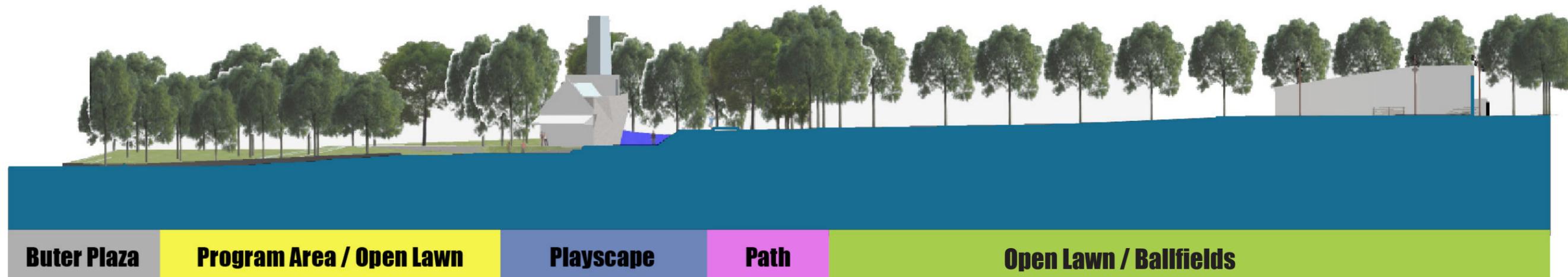
These sections are intended to illustrate the concept. These were drafted from GIS data provided to the design team. Final grading plans should be conducted with a site survey prepared by a licensed surveyor.



**A**



**B**



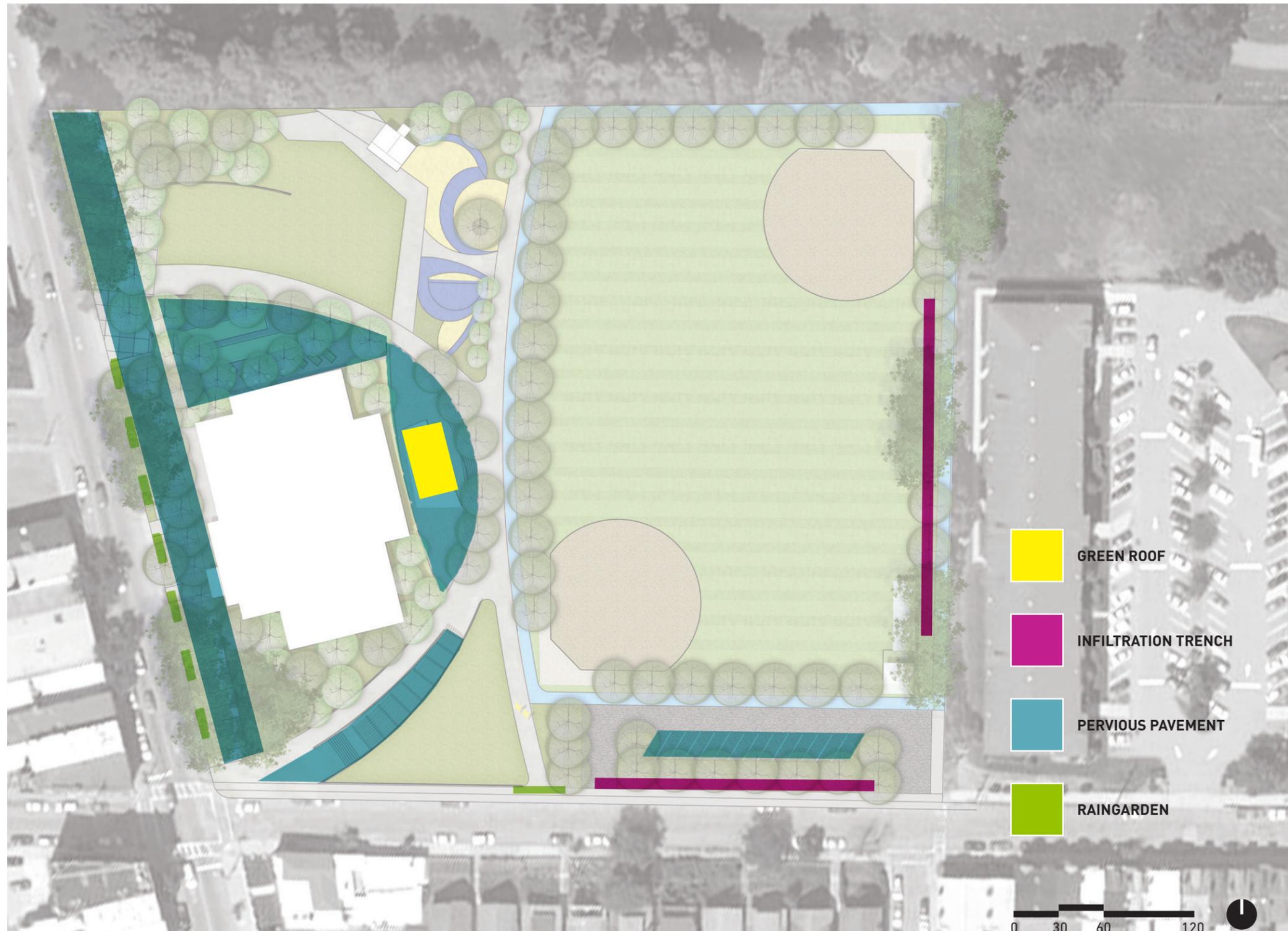
### SUSTAINABILITY: STORMWATER MANAGEMENT

This sustainable stormwater management plan illustrates the extent of sustainable management strategies that could be employed at Leslie Park over time. Ideally, all stormwater in the park would be treated sustainably to improve water quality and minimize the quantity of stormwater run-off that is released after storm events. Sustainable infrastructure features in the park provide a great opportunity to serve as educational features. Sustainable stormwater improvements should be evaluated and prioritized for both the extent to which they provide environmental services and educational opportunities.

When considering implementing sustainable infrastructure systems, many people are initially concerned about perceived issues of installation costs and maintenance requirements. Sustainable features such as pervious pavement, bioswales, raingardens, and other devices often can often be installed with no net increase in construction cost, due to the corresponding reduction in the cost of traditional pipes and structures. Maintenance of landscaped bioswales and raingardens is comparable to maintenance of traditional landscaped parking lot islands, with the additional task of cleaning drains and monitoring function.

Stormwater collected from rooftops and paved areas is directed to bioswales instead of traditional collector pipes. Bioswales are vegetated swales that slow and filter the water through the vegetation and sand/gravel filtering systems. Bioswales enable runoff to drain back into the groundwater system, mimicking the natural water cycle and greatly benefitting the regional ground water system.

Space is at a premium in Leslie Park, so porous pavement is recommended for the parking area. This enables rainwater to drain directly through the pavement into subsurface gravel collection sumps. Porous concrete has a soft, natural appearance that is especially suitable for this park: porous asphalt and crushed stone are other options. Porous pavement is more expensive than traditional pavement, but it eliminates the need for drainage piping or structures within the pavement area. Porous pavement also allows rainwater to infiltrate back into the ground water system.



**TREE CANOPY: PRESERVATION**

In 2013, the Pittsburgh Shade Tree Commission and Tree Pittsburgh commissioned a park tree resource inventory to understand the structure and condition of the trees in smaller parks throughout Pittsburgh. The priority of this project was to inventory parks in lower canopy neighborhoods, including Arsenal Park and Leslie Park. Central Lawrenceville has a neighborhood tree canopy cover of 33.6%, but this number is reduced to 12.3% when Allegheny Cemetery is removed. The tree canopy cover in Leslie Park is essential to maintain and expand in order to promote the benefits from existing and future trees.

**Goals for Leslie Park’s urban forest should include:**

- + Promote species diversity (see more information on page 3 from the Pittsburgh Urban Forest Master Plan).
- + Remove hazardous trees after ground truthing from inventory.
- + Follow tree protection best management practices when constructing and regrading within Leslie Park.
- + Relocate any tree less than 8” in diameter within the park that pose a conflict with new infrastructure.
- + Infrastructure should be adjusted to protect trees greater than 12” in diameter.
- + Continued tree care for all trees within the park.

Recommended species to plant in Leslie Park include black gum, various oaks (white family), redbuds, and evergreens including pines and spruces.

**Diversity Goals**

Tree Pittsburgh has adopted standard diversity recommendations for urban tree populations and established the following goals for the distribution of species in our urban forest:

- + No single tree species should represent more than 10% of the population.
- + No single genus should represent more than 20% of the population.
- + No single family should represent 30% of the population.

Currently, Pittsburgh’s street tree population has four species exceeding these thresholds. Therefore, the use of any species and/or cultivar of maple (Acer) should be avoided whenever possible or represent no more than 5% of the trees used on any given planting project. Hedge maple (Acer campestre) is excluded from this limit.

Goal	
10%	• No single species should make up more than 10% of a planting/population.
20%	• No single genus should make up more than 20% of a planting/population.
5%	• Maple ( <i>Acer</i> ) may not comprise more than 5% of any given planting project.
25%	• ALB host species may not exceed 25% for any given planting project.
20%	• Any non-street tree planting project is recommended to have at least 20% of the species be conifers.
10%	• Any street tree planting project should have 10% of the species be conifers.



Existing Oak Trees along Butler Street



# PLAN OF ACTION



## *LOOKING AHEAD: IMPLEMENTATION*

The Leslie Park Master Plan contains a broad series of recommendations that describe physical improvements for the park site. These recommendations have resulted from an intensive master plan process which involved defining near and long-term park and community issues, the review of planning and design alternatives, design principles and goals, and more detailed project description and definition associated with major recommendations.

Implementation of the Master Plan must be achievable over time through a series of individual projects. Community needs may change, priorities will be altered, and not all recommendations will be implemented as planned. It is important that the master plan provide flexibility in the manner that recommendations are implemented if it is to serve as a viable tool over time.

The following probable costs are based on general planning and design parameters and represent order-of-magnitude costs, in 2015 dollars, that are suitable for general planning purposes. These are not intended to represent total project costs and should not be referenced as such. Actual project costs must be based on a build-up of more detailed design information and should include design and permitting fees, project management costs, and a maintenance fund.

## **MAINTENANCE AND OPERATIONS** (see Appendix 6.4 for complete maintenance recommendations)

The goal of the maintenance plan is to provide an aesthetically pleasing and safe park and recreation facility for the community. Regularly scheduled service and monitoring of the grounds and facilities are essential to meet the goals and needs of park visitors, to support programs and events, and to reduce liability risks. The following Maintenance Plan is intended to provide a framework for developing, defining, and implementing standards for maintenance, management, and operations for the park.

Areas of current responsibility in the park:

- + The Department of Public Works is generally responsible for maintenance and capital improvements.
- + The Department of Parks and Recreation is generally responsible for programming.
- + Although no formal agreement exists between the City of Pittsburgh and community organizations, we understand that such an agreement should be developed to implement and realize a successful park.

In the future, community organizations (Lawrenceville United, Pittsburgh Parks Conservancy) may provide enhanced maintenance for park items not typical of DPW's typical maintenance operation. These items include:

- + Ornamental/seasonal plantings;
- + Green infrastructure/stormwater elements, bioswales, raingardens;
- + Playscape structures;
- + Hammocks;
- + Restrooms;
- + Park programming.

Tree Pittsburgh should be utilized as a steward and advocate for trees.



## RECOMMENDED PHASING

### A. Program Space

- + Rubberized play surface
- + Safety and accent lighting
- + Playscape structures
- + Site furnishings
- + Pool building demolition and renovation
- + Rain gardens
- + Splashplay
- + Paving/pavers
- + Game Lounge

### B. Ballfields + Parking

- + Ballfields
- + Rubberized track surface
- + Exercise equipment
- + Site furnishings
- + Asphalt surface parking lot
- + Sport lighting
- + Storage building
- + Batting cage and bleachers

### C. Pavilion Area

- + Paving/pavers
- + Site furnishings
- + Pavilion structure, restrooms, concessions
- + Rain gardens

### D. Streetscape

- + Paving/pavers
- + Lighting
- + Site furnishings
- + Rain gardens
- + Interpretive signage
- + Street trees
- + World War I Memorial

### E. Arbor

- + Paving/pavers
- + Site furnishings
- + Arbor
- + Interpretive signage
- + Seatwall

**BUDGETS: COST OPINION**

1. Program Space, Playscape, and Game room	\$1.2 M
2. Ballfields + Parking	\$750 K
3. Pavilion Area	\$775 K
4. Streetscape	\$650 K
5. Arbor	\$450 K
<b>TOTAL ESTIMATE</b>	<b>\$3.825 M</b>

Preliminary estimates of probable construction costs have been created to guide budgeting for the phased implementation of park improvements. Future phasing will also be contingent upon several factors including the availability of public funding as well as private-sector participation in developing park amenities and programming.

Ideally, the entire Master Plan would be implemented as one project to gain economies and provide the full transformative effect upon the community. Often, however, park improvements must be implemented in stages. If required, phases are recommended in a sequence based upon community need and logical sequencing of complementary projects. Proposed phases could be separated or combined based upon coordination issues and the availability of funds.

Budget estimates are based upon the conceptual design proposed herein. The estimates have been conceived without detailed engineering and within the limitations of available topographical mapping. While these estimates are useful in establishing relative improvement budgets and in pursuing project funding, additional design will be necessary to more accurately predict specific project costs.

**MOVING FORWARD**

**Detailed Design**

The size and scope of the future park development will require significant coordination over several phases involving both public and private sector interests. In order to ensure that future development of the park meets the community’s expectations for quality, durability, appearance, and identity, design guidelines should be established in coordination with the detailed design and documentation of park improvements.

**Design Development**

Based on the concepts and ideas presented in the Master Plan report, the design consultant will coordinate with sub-consultants and the client to develop site plans and preliminary construction details that fix and describe the size and character of the project. Graphic exhibits may include a combination of illustrated plans, perspective sketches, or digital models.

**Construction Documentation**

Based on authorization from the client to proceed with approved Design Development documents and budget, the design team will prepare Construction Documents including drawings and specifications in a single bid package for the procurement and construction of the work. During the Construction Documents phase, the design consultant will provide services to assist in securing the permits and approvals necessary for the commencement of construction.

**Bidding and Construction Administration**

The design consultant will review and comment on all bidding requirements, forms of agreement, and conditions of the contract for construction. The design consultant will assist in the pre-bid meeting, answer contractor questions during bidding, and assist in the evaluation of bids and bidder reviews. They will also include evaluations of the work, review construction submittals, review proposed changes in the work, and perform on-site inspections to determine substantial and final completion.

**SUSTAINABLE BEST MANAGEMENT PRACTICES**

The following practices should be employed throughout the park to reduce development impacts and lead to a healthier overall environment.

**Porous / Permeable Pavements** - Porous pavement systems are hard surface pervious pavement materials, equal in strength and durability to conventional pavements, that allow stormwater runoff to percolate through the pavement into the ground thus reducing storm water runoff and surface water pollution.

Gravel base courses lying underneath the porous pavement surface serve as a “reservoir” to temporarily store the percolated stormwater, thereby lengthening the infiltration period into the underlying soil. Pervious pavement options include: Porous Asphalt, Porous Concrete and Permeable Paver systems.

**Recycled Pavements & Building Materials** - Pavements made from recycled sources ultimately save resources and energy. Recycled asphalt unit pavers provide a very appealing alternative to traditional brick and concrete unit pavers.

Recycled asphalt pavement reduces pollution, waste and fossil fuel (petroleum) consumption associated with the manufacture and transportation of asphaltic pavement materials. Specifying recycled asphalt should be considered as a means to reduce the city’s contribution to greenhouse gas emissions.

**Raingardens, Bio-retention Cells & Stormwater Planters** - These features use a series of landscaped or turf covered catchment areas designed to capture, cool, cleanse and infiltrate stormwater runoff from paved surfaces. These systems are an effective method of integrating landscaping and stormwater management into the more intensively developed areas of the park.

**Green (vegetated) Roofs** - Vegetated or “greenroofs” provide excellent benefits to high performance buildings including reductions in the rate and quantity of stormwater runoff and increased energy efficiency. A greenroof should be considered for the pavilion/restroom structure.

**Native Landscape Plantings** – Native plant species should be used in restoring heavily modified and disturbed areas of the park. Native species are non-invasive and typically require less maintenance, supplemental watering, pesticides or fertilization than non-native landscape plantings. Native turfgrasses and meadow species can be selected for their year-round ornamental qualities, height, texture and color characteristics. Native plantings still require maintenance during the establishment phase, however the establishment period can be as little as one year.

**OUTSIDE FUNDING STRATEGIES**

In order to capitalize on current interest and momentum, and in recognition of the limited availability of federal, state, and local government funds, this plan should be actively used to recruit private-sector investors and funding partners. Corporate entities such as local and national banks, health and wellness providers, and technology companies that frequently sponsor the construction and operations of health and wellness initiatives and significant community facilities such as those planned at the park. These potential partners should receive assistance in gaining an understanding of the benefits of public / private partnering.



# APPENDIX



**CONCEPT: Re\_Leslie**

Responding to the original park layout, this concept reintroduces many of the elements that once composed the small neighborhood park. An arching walkway is reestablished, linking the sidewalk along Butler Street with the interior of the park. This walkway contains an arbor, pavilion, and the former pool space repurposed for programs and gardens. The surface parking lot, which currently severs the park into two spaces, now only spans half of the site allowing the remaining half to be open for pedestrian circulation and additional program offerings. The playground is relocated in this concept between the two ball fields, promoting a space for gathering and observation during games and events that occur on the fields.



**CONCEPT: Folding Landscapes**

This concept promotes a dynamic “folding” of the landscape to establish strong lines and planes composed of lawn for play, retaining walls for seating and terracing, direct paths for efficient circulation, and massing of plant material for attractive color, texture, and seasonal interest. In an effort to provide views into the park from both Butler Street and 46th Street, the plan recommends establishing “windows” (openings) at the park perimeter. These windows will provide usable space for park visitors, as well as allow for the park to be viewed by passersby. Surface parking has been removed from the center of the park, and relocated along the southwestern border next to the adjacent apartment complex, providing access to the ballfields. This concept also suggests the addition of a structure on the southwest façade of the Boys and Girls Club to serve as a physical link between the park and the building program.





Dolphin Drinking Fountain



Pedestrian Light Pole



U-rack Corral Standard



Wood Bench with Plaque



U-rack

**Introduction to Park Maintenance**

The goal of a maintenance plan is to provide an aesthetically pleasing and safe park and recreation facility for the community of Lawrenceville. Regularly scheduled service and monitoring of the grounds and facilities are essential to meet the goals and needs of park visitors, to support programs and events, and to reduce liability risks. The following Maintenance Plan is intended to provide a framework for developing, defining, and implementing standards for maintenance, management, and operations for the park.

**Areas of Responsibility in the Park**

- + The Department of Public Works (DPW) is generally responsible for maintenance and capital improvements.
- + The Department of Parks and Recreation is generally responsible for programming.
- + Although no formal agreement exists between the City of Pittsburgh and community organizations, such an agreement should be developed to implement and realize a successful park.
- + Community Organizations (Lawrenceville United, Pittsburgh Parks Conservancy) may provide enhanced maintenance for park items not typical of DPW’s typical maintenance operation. These items include:
  - + Ornamental/seasonal plantings;
  - + Green infrastructure/stormwater elements, bioswales, raingardens;
  - + Playscape structures;
  - + Hammocks;
  - + Restrooms;
  - + Park programming.
- + Tree Pittsburgh should be utilized as a steward and advocate for trees.
- + Maintenance endowment funds should be raised as part of each capital improvement budget. Those funds should be held by a private entity, such as the Parks Conservancy, and administered in coordination with the City’s efforts and with volunteer stewardship. (The three-legged stool: City, Conservancy, Community).

The type and condition of the natural environment, facility experience, and service experience (when present) has the ability to elevate the park experience for the visitor. For this goal, park maintenance can be focused on one of three categories:

- + Undeveloped Natural Areas - Leslie Park (considered an urban park) does contain some undeveloped natural areas, but those areas are small and within passive areas of the park.
- + Developed Areas and Facilities – these areas accommodate more intense and higher density use. These areas include buildings/structures, playscape elements, court play area, bicycle racks, and so on. Developed areas represent the majority of spaces within Leslie Park.
- + Maintenance Operations Practices – development of procedures,

techniques, and resources are necessary to achieve desired outcomes and to understand needed resources or training to realize those outcomes.

**Goals**

- + Maintain park areas and facilities that are clean, safe, and aesthetically pleasing.
- + Develop and implement regularly scheduled routine and preventive maintenance programs.
- + Develop and implement a maintenance program to respond to unplanned or emergency needs.
- + Identify hazardous conditions in Leslie Park and recommend remediation.

**Standards**

Standard maintenance defines the minimum level of outcome that is acceptable to the Department of Public Works. These standards should describe what the park and facilities should look like after it has been maintained.

**1. Maintenance**

- A. Professional Judgement – There are times when a park maintenance professional must exercise professional judgement based on knowledge, skill, or experience.
- B. Craftsmanship – All work is to be completed in a safe, timely, and professional manner to ensure a safe and functional condition throughout the park. Safety is of primary concern.
- C. Repair Work – All repair work should be conducted in accordance with applicable building codes.
- D. Clean Up – Trash and work debris shall be cleaned up from all work sites at the end of each work day.
- E. Litter – The park shall be free of all litter. No city employee should neglect removal of litter assuming the responsibility lies elsewhere.
- F. Broken Glass – Broken glass shall be removed immediately upon discovery or notification.
- G. Vandalism and Graffiti – These instances shall be reported to a supervisor immediately and repaired as soon as possible.
- H. Manufacturer’s Recommendations – All structures, furnishings, and materials throughout the park shall be installed and maintained in accordance with the manufacturer’s recommendations.

**2. Structures**

- A. Floors – Floors shall be free of dirt, litter, debris, and standing water.
- B. Structure – Structures shall be free of cracked, broken, or missing components.
- C. Exterior Surfaces – Exterior surfaces shall be free of holes and gaps.
- D. Fixtures – Light fixtures and electrical outlets shall be in proper working condition.

**3. General Grounds (Walks, Paths, Trails)**

- A. Paved Surfaces – All surfaces shall be free of pot holes, cracks, trip hazards, weeds, and debris.
- B. Gravel Pathways – Pathways shall be free of dips, roots, and ruts from water runoff.
- C. Turf – Turf shall be healthy, free of diseases, pests, and invasive species. Turf shall also be free of litter and debris.
- D. Trees – All trees shall be free of dead, diseased or broken limbs.
- E. Mulch – All trees placed in turf areas shall have tree ring of mulch or native soil.

**4. Park Amenities**

- A. Stone Walls – Repair existing stone walls where damaged or showing signs of failure. Repairs to the wall should employ historically appropriate materials to best preserve the historic character of the stone and mortar.
- B. Benches – All bench components shall be structurally sound and tightly fastened together. Bench boards shall not be cracked, split, broken, or missing.
- C. Bike Racks – Bike racks shall be securely anchored. No cracked, broken, or missing components.
- D. Trash Receptacles – Bags shall be used except where directed by supervisor. Containers shall be sound and free of excessive dents or rusted areas.
- E. Signage – Signs shall be free of dirt or debris. Signs to be located so as to be accessible but not blocking paths.

## 5. Athletic Fields

- A. Holes and Trip Hazards – Fields shall be free of holes and trip hazards.
- B. Standing Water – Fields shall be free of standing water two to three days after rainfall.
- C. Litter and Debris – Fields shall be free of litter and debris.
- D. Turf Condition – Turf shall be generally free of holes and trip hazards.
- E. Weeds – Infield and fence lines shall be free of weeds.
- F. Dugouts – Dugouts shall be free of litter and debris.

## 6. Playscape

- A. Compliance – Play equipment and features shall comply with ASTM and CPSC guidelines.
- B. Structure – Play equipment shall have not cracked, broken, or missing components.
- C. Litter and Debris – Playscape area shall be free of debris.
- D. Safety Surface – Safety surface shall be at the appropriate depth, uniformly level, and free of weeds.
- E. Replacement Components – Replacement components shall meet or exceed original manufacturer's specifications as well as ASTM and CPSC.

## 7. Outdoor Lighting

- A. Fixtures – All fixtures shall be in proper working order and free of broken or missing components.
- B. Poles – Light poles shall be plumb and level.
- C. Illumination – Field lighting shall be checked regularly for maintenance of acceptable lighting levels for activities.

## 8. Water Features

- A. Water Quality - All features to be tested on a regular basis. If quality of water tested is in question or unsafe, feature shall be shut down.
- B. Mechanical – Monitor and maintain all mechanical, electrical, and plumbing components of water feature. If components are broken, cracked, or missing then water feature must be shut off until repairs have been completed.
- C. Wet Surfaces – Clean wetted surfaces regularly for safety and to reduce wear on materials.
- D. Drainage – Channels or drains shall be free of litter and debris.

## 9. Green Infrastructure

- A. Raingardens, Infiltration Basins, and Bioswales – Remove all litter and debris from raingardens.
- B. Permeable Paving – Vacuum permeable paving annually to promote porosity between units. Remove debris from voids and replace aggregate as needed.
- C. Green Roof – Remove all debris and litter from green roof. Replace diseased or damaged plant material. Remove invasive species from planting mix.



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