

STAPLETON MCA

PROJECT LOCATION
8371 E. NORRFIELD BLVD.

JURISDICTION
CITY OF DENVER

DESCRIPTION OF WORK
NEW TENANT FINISH FOR THE STAPLETON MASTER COMMUNITY ASSOCIATION

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BUILDING MECHANICAL/ MECHANICAL DESIGN-BUILD ENGINEER
XX
Address: xx
Phone: xx
Direct: xx
Contact: xx

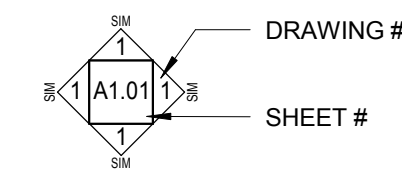
ELECTRICAL ENGINEER
xx
Address: xx
Phone: xx
Direct: xx
Contact: xx
Email: xx

DRAWING INDEX

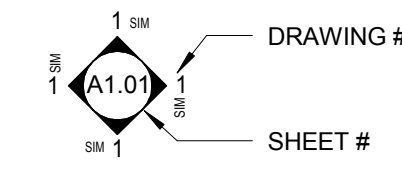
SHEET NO.	SHEET NAME
A2.02	ENLARGED BACK-OF-HOUSE PLANS AND ELEVATIONS
ARCHITECTURE	
A0.00	COVER SHEET
A1.01	FLOOR PLAN
A1.02	REFLECTED CEILING PLAN
A1.03	ELECTRICAL PLAN
A2.01	ENLARGED RESTROOM PLANS AND ELEVATIONS
A2.03	ENLARGED OFFICE PLANS AND ELEVATIONS
A2.04	ENLARGED BREAK ROOM PLANS AND ELEVATIONS
A2.05	INTERIOR ELEVATIONS
A2.06	INTERIOR ELEVATIONS
A3.01	DETAILS

GENERAL SYMBOL LEGEND

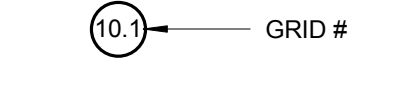
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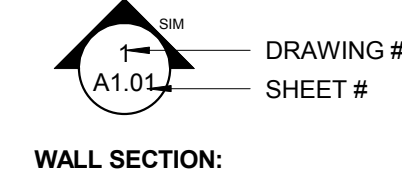
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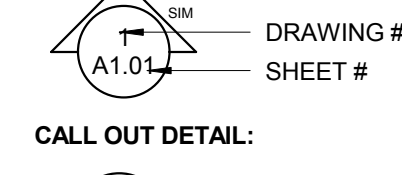
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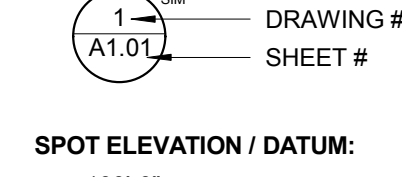
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WALL SECTION:



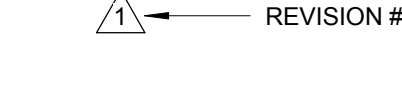
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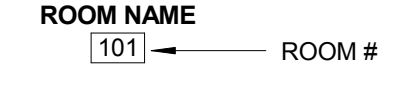
SPOT ELEVATION / DATUM:



REVISION TAG:



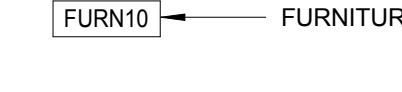
ROOM TAG:



FLOOR TAG:



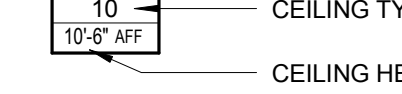
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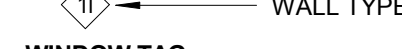
DOOR TAG:



CEILING TAG:



WALL TAG:



WINDOW TAG:



ROOF TAG:



SPECIALTY EQUIPMENT TAG:



PLUMBING FIXTURE TAG:



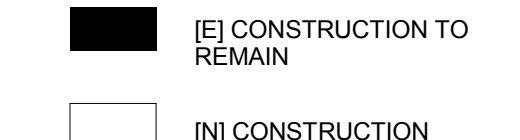
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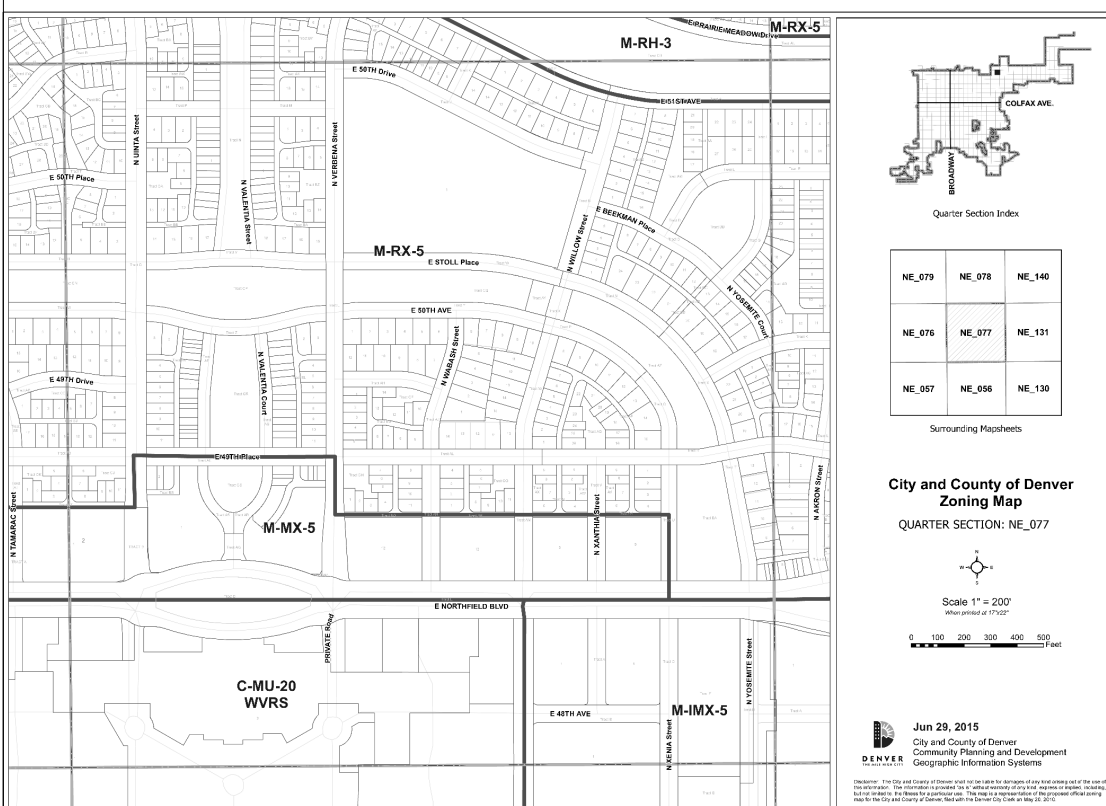
LIGHT FIXTURE TAG:



FLOOR PLAN LEGEND:



VICINITY MAP



DOOR SCHEDULE

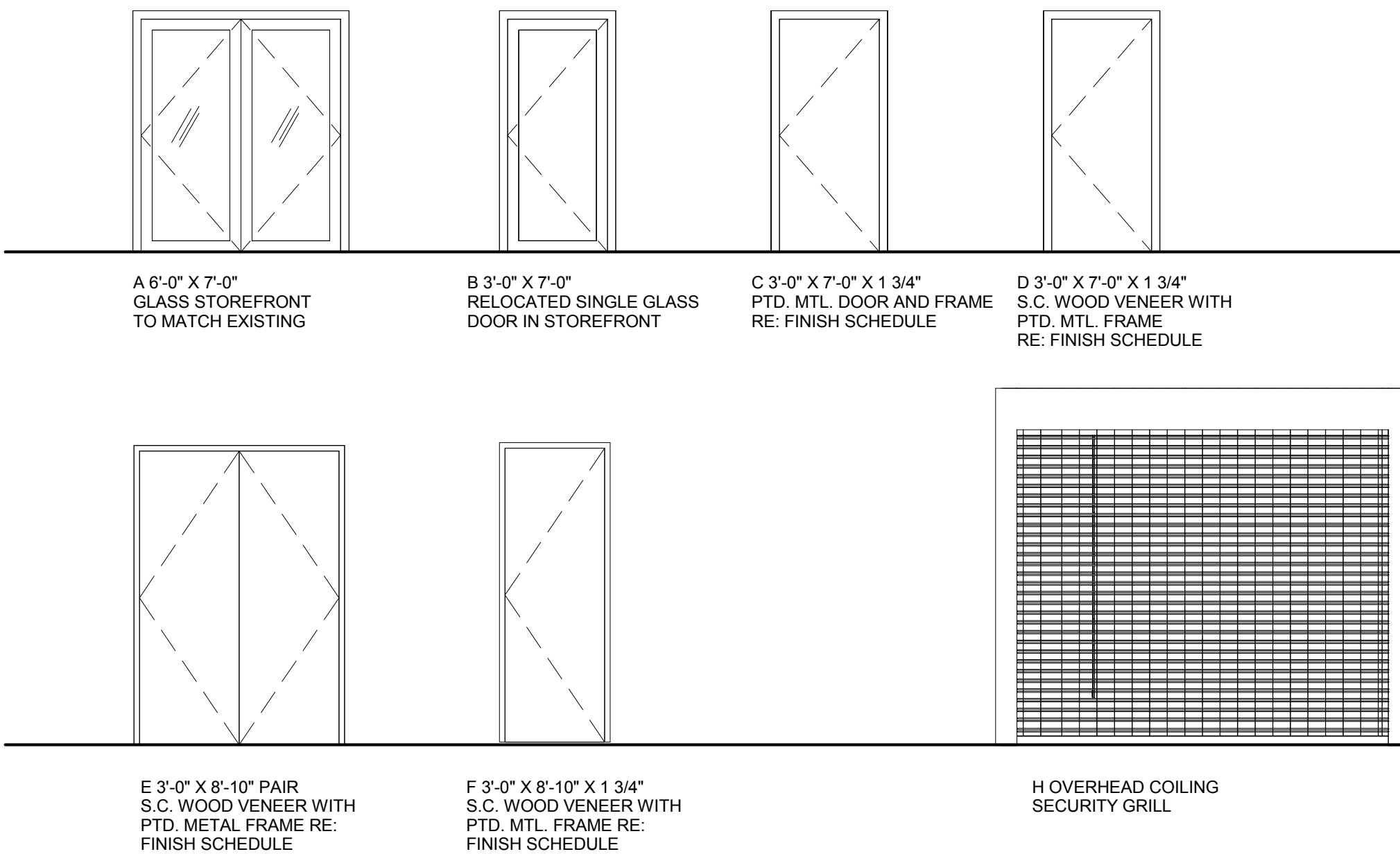
NUMBER	TYPE	Height	Width	Thickness	Door Material	Door Finish	Frame Material	Finish	HARDWARE	COMMENTS
102	A	7'-0"	6'-0"		AL & GLASS		AL		PANIC	TRANSOM WINDOW TO MATCH EXISTING
103	F	7'-0"	3'-0"	0'-1 3/4"	SC WOOD		HM	PT	PUSH-PULL	
104	F	7'-0"	3'-0"	0'-1 3/4"	SC WOOD		HM	PT	PUSH-PULL	
105A	B	7'-0"	2'-9 3/4"		AL		AL		LOCKSET	KEY CODE ENTRY
105B	A	7'-0"	6'-0"		AL & GLASS		AL		LOCKSET	TRANSOM WINDOW TO MATCH EXISTING
106	F	8'-10"	3'-0"	0'-1 3/4"	SC WOOD				LOCKSET	KEY CODE ENTRY
106B	H	10'-9"	12'-5 1/2"	0'-0 1/2"	AL					OVERHEAD ROLLING SECURITY GRILLE. RE: STRUCT. FOR JAMB MOUNT
108	F	8'-10"	6'-0"	0'-2"	SC WOOD		HM	PT	LATCHSET	AUTOMATIC FLUSH BOLT ON INACTIVE LEAF
110A	F	8'-10"	6'-0"	0'-2"	SC WOOD				PUSH-PULL	
110B	F	8'-10"	6'-0"	0'-2"	SC WOOD				PUSH-PULL	
111	F	7'-0"	3'-0"	0'-1 3/4"	SC WOOD				LOCKSET	
112	C	7'-0"	3'-0"	0'-2"	METAL		HM	PT	LATCHSET	

Plumbing Fixture Schedule

Type Mark	Count	Family and Type	Description	Manufacturer	Model	Comments
1F	8	Faucet - Single Hole: Faucet - Single Hole	SLOAN LINO EF-200 LAV GAURD 2 E-Z	MFR	MODEL	2 FAUCETS PER SINK
1S	4	Sink: Sink & Faucet		MFR	MODEL	TROUGH SINK 60" WIDE
2	10	Toilet - Elongated: American Standard - AFWall Elongated Flushometer Toilet - 3351.160	Elongated 1.6 GPF Flushometer Toilet	MFR	MODEL	
3	2	Urinal-Wall-30: Urinal-Wall-30		MFR	MODEL	
4	1	HighLow_ADA_Bowl_Drinking_FountainBottle_Filler_w_Purifier_in_Wall_Box_Below_13012: HighLow_ADA_Bowl_Drinking_FountainBottle_Filler_w_Purifier_in_Wall_Box_Below_13012		MFR	MODEL	W/ BOTTLE FILLER
5	1	Sink Vanity-Round: 19" x 19"				W/ FAUCET
6	1	Toilet - Floor Mounted: Type				
7	1	Sink Kitchen-Double: 33" x 21"				W/ FAUCET & DISPOSAL
8	1	Sink - Mop: 24x24				

Specialty Equipment Schedule

SE	DESCRIPTION
1	42" GRAB BAR @ 36" AFF
2	
4	
5	SANITARY DISPOSAL (WOMENS WC STALLS TYP)
6	
7	
9	MIRROR WITH POLISHED EDGES 4" WIDE X 4" HIGH
10	MIRROR WITH POLISHED EDGES 4" WIDE X 4" HIGH
12	
13	MIRROR WITH POLISHED EDGES 4" WIDE X 4" HIGH
14	



NOTES

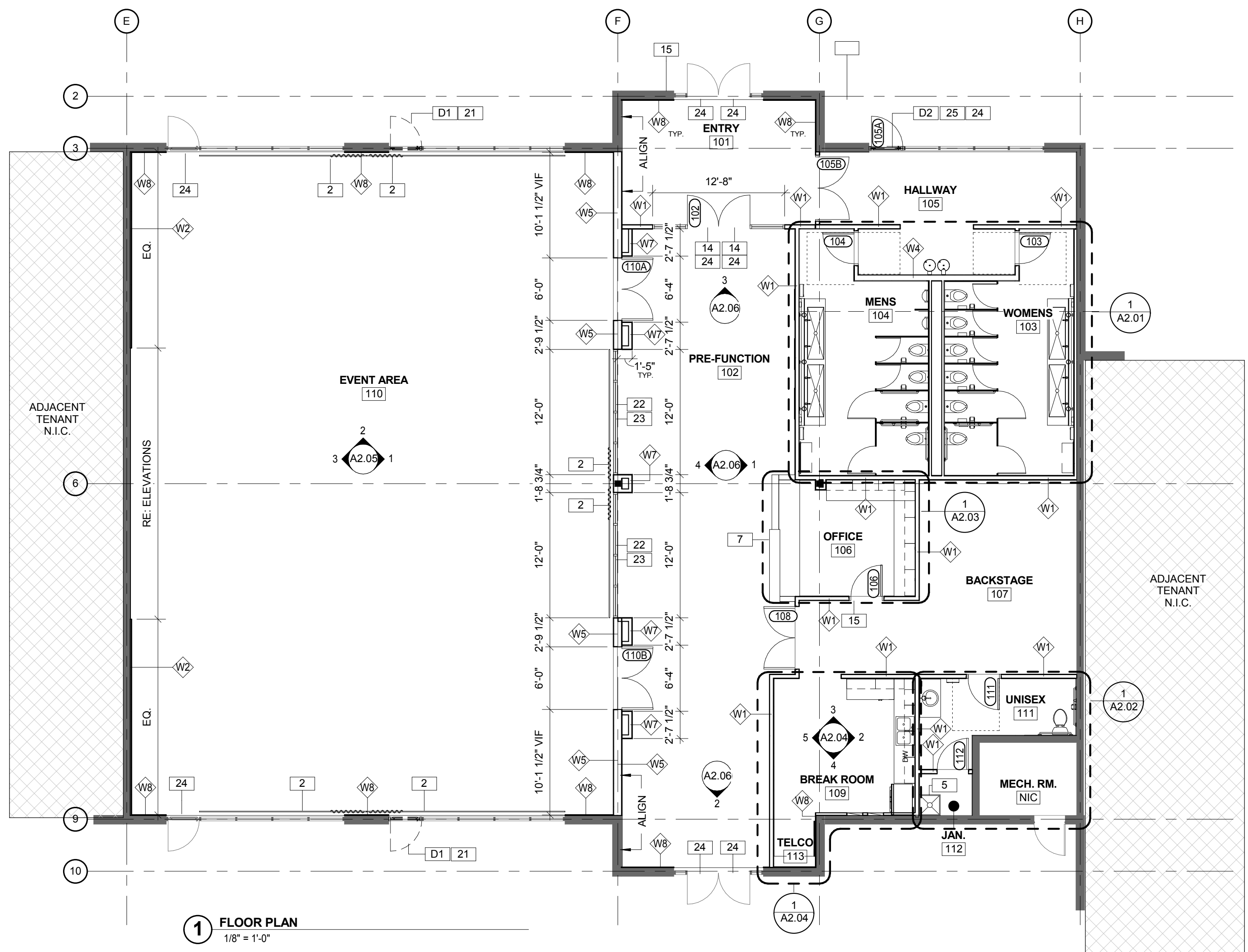
- 2 WALL-MOUNTED DRAPERY SYSTEM.
- 6 MOP SINK RE: PLUMBING.
- 7 WOOD VENEER RECEPTION DESK WITH QUARTZ SURFACE TRANSATION TOP. RE: ENLARGED PLANS ELEVATIONS AND DETAILS.
- 14 REUSE SALVAGED STOREFRONT DOORS AT THIS LOCATION.
- 15 PUSH BUTTON KEY CODE ENTRY DOOR HARDWARE. RE: DOOR SCHEDULE.
- 21 STOREFRONT GLAZING AND MULLIONS TO MATCH EXISTING.
- 22 INTERIOR STOREFRONT GLAZING TO MATCH EXTERIOR.
- 23 PRICING DEDUCT ALTERNATE: 1/2" TEMPERED BUTT-GLAZING IN TOP AND BOTTOM CHANNELS.
- 24 PANIC HARDWARE REQUIRED AT EGRESS DOOR.
- 25 INSTALL RELOCATED STOREFRONT DOOR AT INDICATED LOCATION.
- D1 REMOVE STOREFRONT DOOR AND SALVAGE FOR REUSE RE: DOOR SCHEDULE. PREPARE FOR NEW PANELS AND MULLIONS TO MATCH ADJACENT.
- D2 REMOVE GLAZING AND SALVAGE FOR REUSE. PREPARE FOR NEW SALVAGED DOOR.

WALL TYPES

- W1 3/8" METAL STUD WITH 5/8" GYP. BD. BOTH SIDES, ACOUSTIC SOUND BATT FULL HEIGHT
- W2 HAT CHANNEL WITH 5/8" GYP. BD. ONE SIDE
- W4 3/8" METAL STUD WITH 5/8" GYP. BD. BOTH SIDES, ACOUSTIC SOUND BATT TO CEILING
- W5 10" METAL STUD WITH 5/8" GYP. BD. BOTH SIDES TO B.O. DECK COL LINE F
- W6 3/8" METAL STUD WALL WITH 5/8" GYP. BD. ONE SIDE
- W7 3/8" METAL STUD WITH 5/8" GYP. BD. ONE SIDE, TO T.O. TOWER
- W8 5/8" GYP. BD. OVER EXISTING FRAMING, FULL HEIGHT
- W9 2 1/2" METAL STUD KNEE WALL WITH 5/8" GYP. BD. ONE SIDE

CONSTRUCTION GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING AND CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR UNFORSEEN CONDITIONS. CONTRACTOR IS TO COORDINATE PRICING AND CONSTRUCTION INFORMATION ACCORDINGLY.
2. ALL PARTITIONS ARE DIMENSIONED FINISH TO FINISH, UNLESS OTHERWISE NOTED.
3. PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING STRUCTURE, UNLESS OTHERWISE NOTED. ALL EXISTING CORNER BEADS SHALL BE REMOVED, TAPED AND SPACKLED PROPERLY.
4. CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH SHOP DRAWINGS FOR ALL ITEMS THAT REQUIRE FABRICATION, OR MUST INTERFACE AND COORDINATE WITH OTHER ITEMS, WHETHER DETAILED OR NOT.
5. CONTRACTOR SHALL PROVIDE SUBMITTALS OF SPECIFICATIONS FOR APPROVAL BY THE ARCHITECT.
6. THE CONTRACTOR SHALL PROVIDE AND INSTALL APPROVED FIRE EXTINGUISHERS AS REQUIRED, BY THE LOCAL FIRE PROTECTION DISTRICT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL WALL FRAMING MEMBERS TO FACILITATE THE INSTALLATION OF ALL WALL MOUNTED ELEC. AND MECH. DEVICES, ETC., PER THE ARCHITECT'S DRAWINGS. RE: INTERIOR ELEVATIONS FOR EXACT LOCATIONS OF DEVICES. IF NOT INDICATED, COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACINGS, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECH. AND ELEC. EQUIPMENT.
9. FIELD VERIFY LOCATION OF ALL MECH. THERMOSTATS WITH ARCHITECT PRIOR TO INSTALLATION. HVAC DOCUMENTS INDICATE GENERAL LOCATION ONLY.
10. LOCATE ALL PLUMBING IN PROTECTED AREAS TO AVOID FREEZING OF PIPES AND TRAPS.
11. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN THE EGRESS DIRECTION.
12. ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES, AND APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BLDG. CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS, OR 1/4" MINIMUM THICKNESS APPROVED RESILIENT MATERIALS.
13. APPROVED PERMANENT AND RESILIENT ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND ALL SEPARATION WALLS.
14. PROVIDE SOUND ATTENUATION BATTS WHERE INDICATED ON PLAN DRAWINGS
15. GLASS DOORS, ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN 18 INCHES OF ADJACENT FLOOR, OR WITHIN 40 INCHES OF ANY LOCKING MECHANISM, SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
16. SPECIAL CASEWORK DESIGN TO MEET A.W.I. SPECIFICATIONS SHALL BE PROVIDED ACCORDING TO REFERENCE NOTES AND DETAILS ON THE DRAWINGS. WHERE CONFLICTS BETWEEN A.W.I. AND ARCHITECT'S DRAWINGS OCCUR, CONTRACTOR TO PROVIDE THE ASSEMBLY PRODUCING THE HIGHER QUALITY FINISHED PRODUCT. CONTACT ARCHITECT FOR FURTHER CLARIFICATION OF INTENT IF CONFLICTS ARE IDENTIFIED.
17. WHEN A WALL OR FLOOR PENETRATION IS REQUIRED, THE CONTRACTOR IS RESPONSIBLE FOR THE MAKING THE PENETRATION NEAT AND ORDERLY. THE RESPONSIBLE CONTRACTOR WILL ALSO PATCH, REPAIR AND PAINT THE AREA TO MATCH ADJACENT FINISHES, UNLESS OTHERWISE NOTED.



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STAPLETON MCA TENANT FINISH
 The Shops at Conservatory Green
 8371 Northfield Boulevard
 Denver, CO

REVISION	DATE
OWNER REVIEW	12/18/2015
OWNER REVIEW	01/21/2016
ENGINEERING	01/29/2016
PROGRESS	02/05/16

PROJECT NUMBER: 153900
 PROJECT DATE: 10/05/2015

SHEET TITLE: FLOOR PLAN

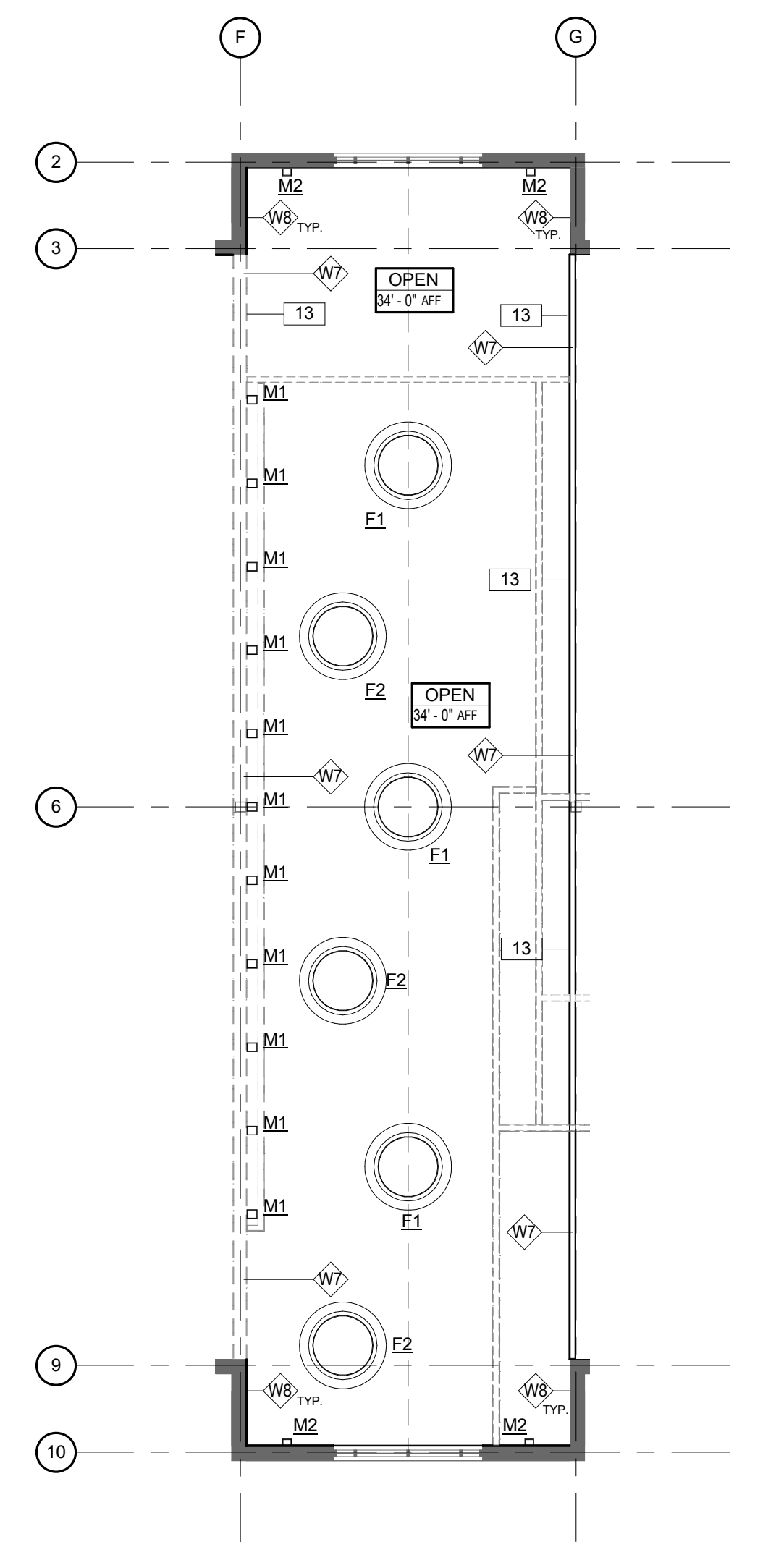
SHEET NUMBER: **A1.01**

NOTES	
12	SUSPENDED PIPE GRID FOR TEMPORARY THEATRICAL LIGHTING, BY OTHERS.
13	DRYWALL FASCIA TO CEILING, RE: ELEVATIONS.
17	DRYWALL SOFFIT AND FASCIA, RE: ELEVATIONS AND DETAILS
20	CONTRACTOR TO INSTALL OWNER-PROVIDED MOTORIZED PROJECTION SCREEN.
30	CEILING COVE, RE: ELEVATIONS.
E1	PROVIDE 200 AMP SERVICE (TOTAL) AT INDICATED LOCATION. COORDINATE RECEPTACLE TYPE AND FINAL LOCATION W/ THEATER AND AV CONSULTANTS. RE: ENG. DWGS.
E4	TELCO SERVICE ENTRY POINT. PROVIDE FIRE RETARDANT PLYWOOD BACK BOARD OWNER-PROVIDED TELCO EQUIPMENT.
E7	PROVIDE J-BOX ABOVE CEILING FOR OWNER-PROVIDED MOTORIZED PROJECTION SCREEN.
E8	PROVIDE J-BOX ABOVE CEILING FOR OWNER-PROVIDED MOTORIZED BLACKOUT BLINDS.
E9	PROVIDE J-BOX ABOVE CEILING FOR MOTORIZED ROLL-DOWN SECURITY GRILL.
E12	PROVIDE J-BOX ABOVE CEILING FOR OWNER-PROVIDED PROJECTOR.
E13	INSTALL SEMI-RECESSED WALL-MOUNT LIGHT FIXTURE HORIZONTALLY OVER MIRROR.

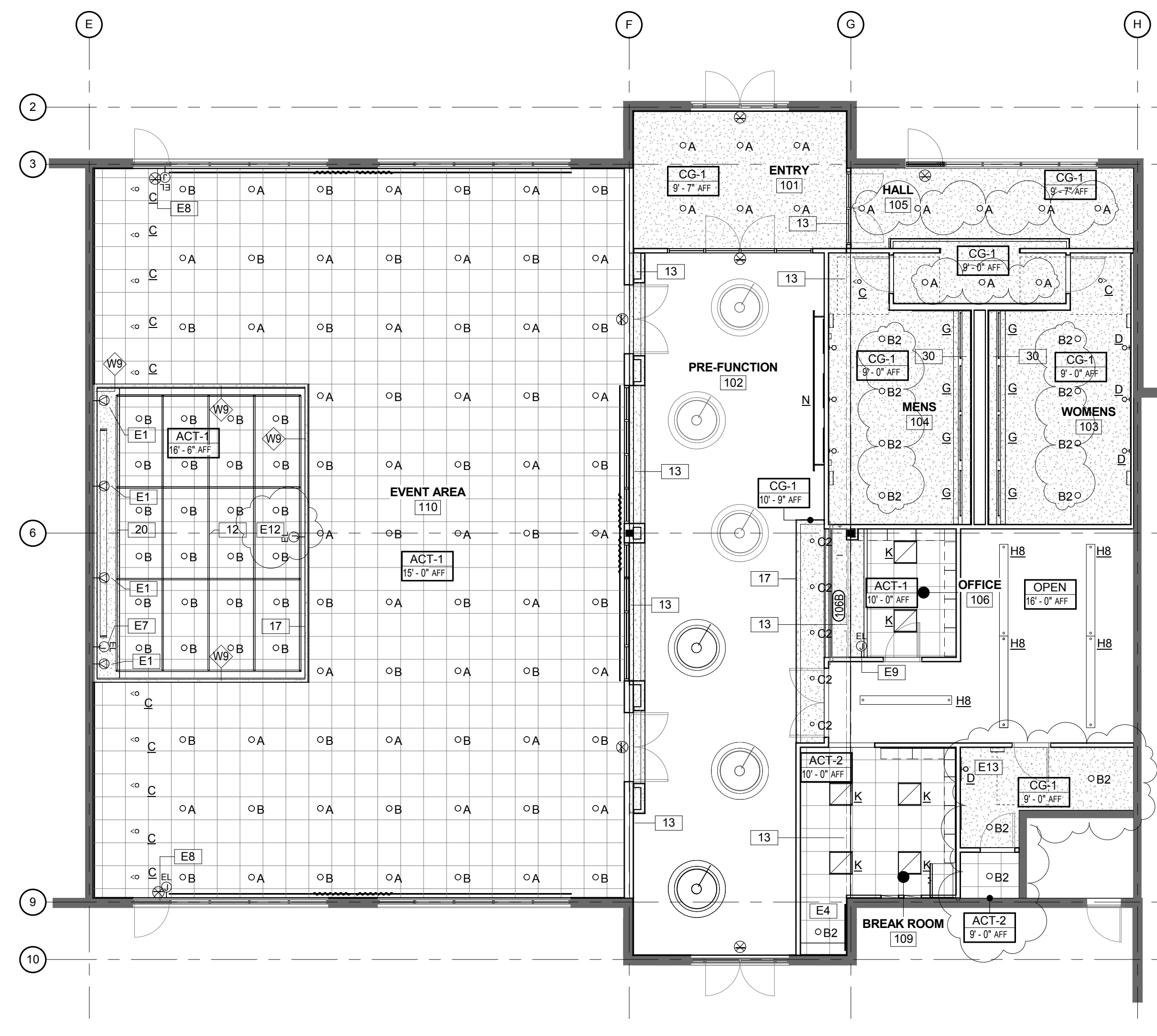
LIGHTING LEGEND	
⊙ A	RECESSED LED DOWNLIGHT WITH DECORATIVE TRIM
⊙ B	RECESSED LED DOWNLIGHT, 4" DIA.
⊙ C	RECESSED LED WALLWASH, 2" DIA.
⊙ C2	RECESSED LED DOWNLIGHT, 2" DIA.
⊙ D	RECESSED WALLMOUNTED VANITY FIXTURE.
⊙ F1	SUSPENDED CYLINDRICAL LED PENDANT, 60" DIA. MOUNT TO 14'-0" AFF
⊙ F2	SUSPENDED CYLINDRICAL LED PENDANT, 60" DIA. MOUNT TO 18'-0" AFF
— G	LINEAR LED STRIP, MOUNTED IN CEILING COVE
— H8	LINEAR LED SUSPENDED UTILITY FIXTURE LENGTH IN FEET AS INDICATED
▣ K	RECESSED 2X2 LED LAY-IN FIXTURE W/ LENS
▣ M1	WALL-MOUNTED LED WALL WASH, UP ONLY RE: ELEVATIONS FOR MOUNTING HEIGHT
▣ M2	WALL-MOUNTED LED WALL WASH, UP-DOWN RE: ELEVATIONS FOR MOUNTING HEIGHT
▣ N	WALL-MOUNTED LED WALL WASH, DOWN ONLY RE: ELEVATIONS FOR MOUNTING HEIGHT
⊗ X	EDGE-LIT LED EXIT SIGN, WALL MOUNTED
⊞	LIGHT SWITCH, WALL MOUNTED
▣ CG-1	GYPSUM BOARD CEILING OR SOFFIT, PAINTED INSTALL AT INDICATED HEIGHT
▣ ACT-1	2X2 ACOUSTICAL CEILING TILE AND GRID INSTALL AT INDICATED HEIGHT
▣ ACT-2	2X2 CLEAN-ROOM CEILING TILE AND GRID INSTALL AT INDICATED HEIGHT

RCP GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & BECOME FAMILIAR WITH ALL WORK & DIMENSIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY OBSTRUCTIONS, CONDITIONS OR DISCREPANCIES ADVERSELY AFFECTING THE DESIGN & LIGHTING INSTALLATION PRIOR TO PROCEEDING WITH THE WORK (INCLUDING CONFLICTS WITH MECHANICAL DUCTS & STRUCTURE.)
- LIGHT FIXTURE SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER OR THE ARCHITECT.
- ALL NEW RECESSED DOWNLIGHTS, WALLWASHERS, SPEAKERS & EXIT SIGNS ARE TO BE LOCATED IN THE CENTER OF THE 2X2 SECTION OF CEILING TILE U.N.O.
- WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION THEY SHALL BE INSTALLED IN A GANG-TYPE BOX UNDER ONE COVERPLATE, U.N.O. DECORA SWITCHES, WHITE.
- THERMOSTATS SHALL BE MOUNTED AT BUILDING STANDARD HEIGHT. SEE ENGINEERING DRAWINGS FOR LOCATION. COORDINATE LOCATION W/ ARCHITECT PRIOR TO INSTALLATION.
- RELOCATE, EXTEND & MODIFY EXISTING SPRINKLER LINES & HEADS AS REQUIRED. SPRINKLER HEADS TO BE CONCEALED TYPE.
- LIGHT SWITCHES & COVERPLATES ARE TO BE MOUNTED VERTICALLY TO CENTER.
- MECHANICAL ENGINEER IS TO LAY OUT & CONTRACTOR TO BALANCE HVAC SUPPLY DIFFUSERS & RETURN AIR GRILLES.
- ARCHITECTURAL DRAWINGS FOR LIGHTING, POWER & TELEPHONE LOCATION ARE FOR SPECIFICATION, LOCATION & QUANTITIES ONLY. SEE ENGINEERING DRAWINGS FOR TECHNICAL INFORMATION. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ENGINEERING & ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL LIFE SAFETY ELEMENTS AS REQ'D PER CODE INCLUDING BUT NOT LIMITED TO HORNS, SMOKE DETECTORS, SPRINKLERS, LAYOUT OF DETECTORS & SPRINKLERS, EXIT SIGNS, AREA OF EVACUATION ASSISTANCE, ETC.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCT. MEMBERS, MECH. DUCTS AND INSUL., LIGHT FIXTURES, CEILING SYSTEMS, AND ANY SPECIAL STRUCT. SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL CEILING FRAMING MEMBERS TO FACILITATE THE INSTALLATION OF ALL CEILING MOUNTED ELEC. AND MECH. DEVICES, ETC., PER THE ARCHITECT'S DRAWINGS. IF NOT DIMENSIONED, COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY BLDG. CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECH. OR ELEC. EQUIPMENT, WHETHER OR NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS' WORK AND RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHO THE EXPRESS APPROVAL OF THE ARCHITECT. PAINT PANELS TO MATCH ADJACENT FINISHED CONDITION OR AS APPROVED BY ARCHITECT.
- ALL DUCT PENETRATIONS THROUGH PARTITIONS AND CEILINGS SHALL BE PROVIDED WITH THE NECESSARY FRAMES AND BRACING AROUND THE OPENING.
- THE CONTRACTOR SHALL PROVIDE ROOF PATCH AND FLASHING CONDITIONS AT ALL ROOF PENETRATIONS/CURBS. TO BE COMPATIBLE WITH EXISTING ROOF MEMBRANE. PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED. EXECUTE WORK SO AS TO MAINTAIN ANY EXISTING ROOF WARRANTIES.
- CEILING SYSTEMS SHALL PROVIDE FOR LIGHTING FIXTURES AND AIR CONDITIONING DIFFUSERS. INDEPENDENT FRAMING AND ATTACHMENTS TO THE STRUCT. SHALL BE ADEQUATE TO SUPPORT THE CEILING SYSTEM WHERE DUCTWORK INTERFERES WITH NORMAL SUSPENSION. ATTACHMENT OF HANGERS OR FRAMING TO DUCTWORK IS PROHIBITED.
- WHEN A CEILING PENETRATION IS REQUIRED, THE CONTRACTOR IS RESPONSIBLE FOR THE MAKING THE PENETRATION NEAT AND ORDERLY. THE RESPONSIBLE CONTRACTOR WILL ALSO PATCH, REPAIR AND PAINT THE AREA TO MATCH ADJACENT FINISHES, UNLESS OTHERWISE NOTED.



2 REFLECTED CEILING PLAN - TOWER
1/8" = 1'-0"



1 REFLECTED CEILING PLAN - MAIN LEVEL
1/8" = 1'-0"

NOTES

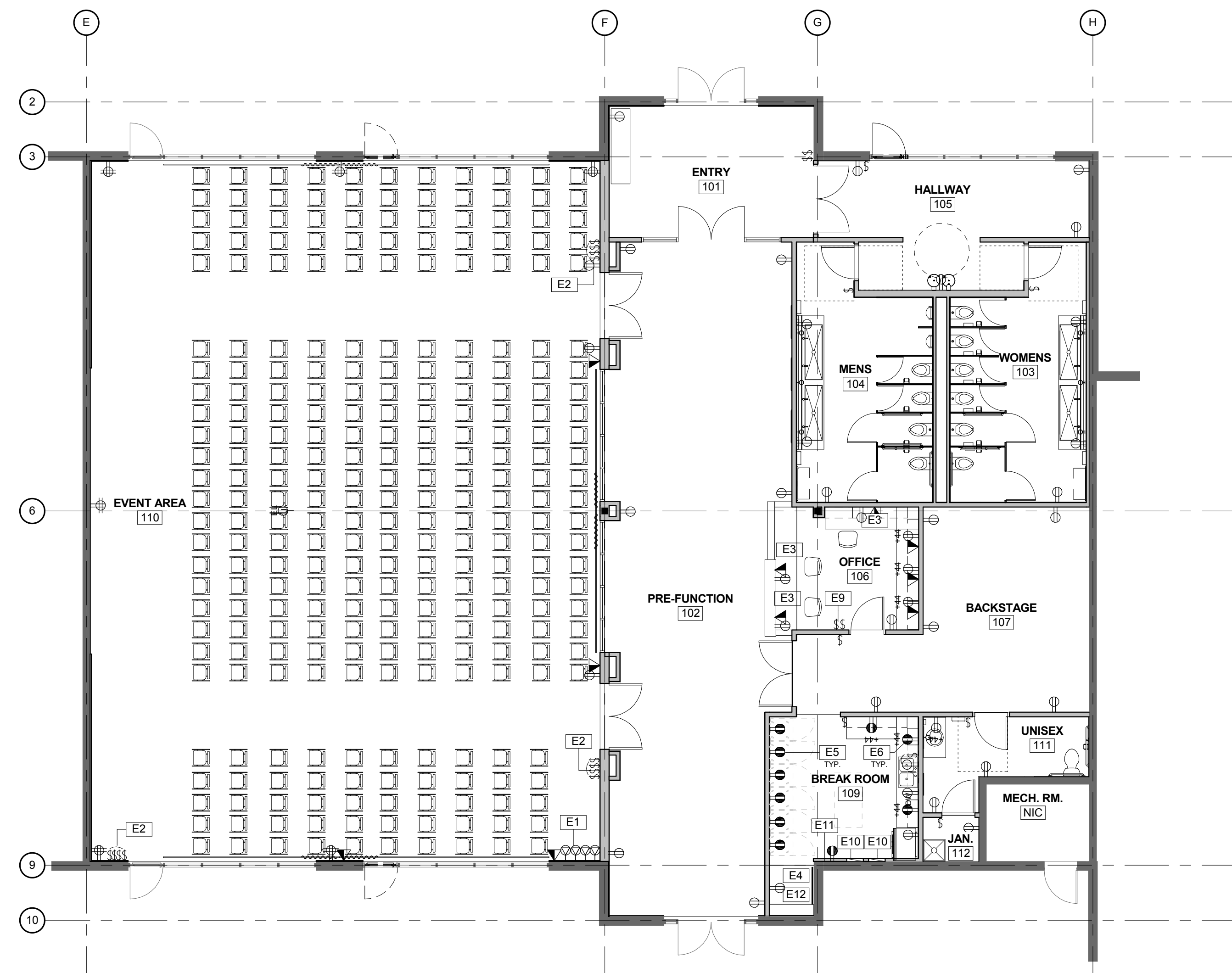
- E1 PROVIDE 200 AMP SERVICE (TOTAL) AT INDICATED LOCATION. COORDINATE RECEPTACLE TYPE AND FINAL LOCATION W/ THEATER AND AV CONSULTANTS. RE: ENG. DWGS.
- E2 COORDINATE FINAL LIGHTING AND PROJECTOR SCREEN CONTROL LOCATIONS W/ THEATER AND AV CONSULTANTS. RE: ENG. DWGS.
- E3 PROVIDE POWER AND DATA CONNECTIONS BELOW WORKSURFACE. RE: ENG. DWGS. COORDINATE FINAL LOCATIONS W/ OWNER.
- E4 TELCO SERVICE ENTRY POINT. PROVIDE FIRE RETARDANT PLYWOOD BACK BOARD OWNER-PROVIDED TELCO EQUIPMENT.
- E5 PROVIDE DEDICATED CIRCUITS FOR PORTABLE FOOD WARMING UNITS BY OTHERS.
- E6 PROVIDE DEDICATED CIRCUITS FOR OWNER-PROVIDED COUNTERTOP APPLIANCES.
- E9 PROVIDE J-BOX ABOVE CEILING FOR MOTORIZED ROLL-DOWN SECURITY GRILL.
- E10 ELEC. PANEL AND CLEARANCES TO REMAIN.
- E11 ADD-ALTERNATE. NEW 200 AMP SERVICE AND PANEL.
- E12 PROVIDE J-BOX ABOVE CEILING FOR OWNER-PROVIDED PROJECTOR.

ELECTRICAL LEGEND

- DUPLEX ELEC OUTLET, STANDARD
- DUPLEX ELEC OUTLET, DEDICATED CIRCUIT
- 4-PLEX ELEC OUTLET
- DATA/TELCO OUTLET
- SWITCH
- WALL BOX FOR ELECTRICAL CONNECTION
- WALL BOX FOR DATA/TELCO CONNECTION
- ELECTRICAL PANEL
- +44 INDICATES MOUNTING HEIGHT OF RECEPTACLE ON WALL, IN INCHES

ELECTRICAL PLAN GENERAL NOTES:

1. ALL NEW ELECTRICAL & TELEPHONE WALL OUTLETS TO BE MOUNTED PER UBC & ADA STANDARDS AT 18" A.F.F. TO CENTER OF J-BOX, U.N.O.
2. ALL OUTLETS TO BE LOCATED IN THE CENTER OF PARTITION, U.N.O. BY DIMENSIONS.
3. ELECTRICAL DEVICES & COVERPLATES FOR TELEPHONE & COMPUTER OUTLETS TO BE DECORA, WHITE, UNLESS NOTED OTHERWISE. G.C. TO PROVIDE COVERPLATE RECEPTACLE SAMPLES FOR ARCHITECT'S APPROVAL.
4. ALL TELEPHONE & COMPUTER EQUIPMENT CABLING SHALL BE COORDINATED & INSTALLED BY TENANT'S SUB-CONTRACTOR UNDER SEPARATE CONTRACT.
5. THE ELEC. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS & BECOME FAMILIAR WITH ALL WORK & DIMENSIONS.
6. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ADVERSELY AFFECTING THE DESIGN & LIGHTING INSTALLATION PRIOR TO PROCEEDING WITH THE WORK. (INCLUDING CONFLICTS WITH MECHANICAL DUCTS & STRUCTURE)
7. ARCHITECTURAL DRAWINGS FOR POWER & TELEPHONE ARE FOR LOCATION & QUANTITIES ONLY. SEE ENGINEERING DRAWINGS FOR TECHNICAL INFORMATION. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ENGINEERING DRAWINGS & ARCHITECTURAL DRAWINGS.
8. FOR LOCATION OF ALL DEVICES, THE ARCH. DRAWINGS SUPERCEDE THE ENGINEERING DRAWINGS.
9. FOR LOCATION OF ALL WALL DEVICES NOT DIMENSIONED IN PLAN, REFER TO THE INTERIOR ELEVATIONS.
10. ALL DIMENSIONS ARE TO CENTER LINE OF GROUPED OR SINGLE OUTLETS. WHERE TWO OR MORE DEVICES ARE INDICATED, EACH DEVICE IN GROUP IS TO BE NO MORE THAN 2 INCHES FROM THE DEVICE IMMEDIATELY ADJACENT.
11. PLAN LOCATIONS FOR ELECTRICAL DEVICES MAY VARY UP TO 6 INCHES TO AVOID CONFLICTS WITH STUD LOCATIONS U.N.O. ADD BOX SUPPORTS AS NECESSARY.
12. 3/4" CONDUIT IN GYP. BD. PARTITIONS. FROM OUTLET DATA/TELE. BOX TO EXTEND IN GYP. BD PARTITIONS ABOVE CEILING. PROVIDE THREADED BUSHING AT EXPOSED END AND PULL STRING. UNLESS NOTED OTHERWISE.
13. ALL EXISTING OUTLETS TO BE OPERATIONAL.
14. ELEC. OUTLET BOXES IN OPPOSITE FACES OF SOUND-RATED WALLS SHALL BE SEPARATED HORIZONTALLY BY A MINIMUM 24". BACKS AND SIDES OF BOXES TO BE SEALED WITH 1/8" RESILIENT SEALANT AND BACKED WITH 2" MINERAL FIBER INSUL.



1 ELECTRICAL PLAN
1/8" = 1'-0"

REVISION	DATE
OWNER REVIEW	12/18/2015
OWNER REVIEW	01/21/2016
ENGINEERING	01/29/2016

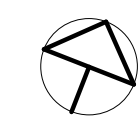
PROJECT NUMBER: 153900
PROJECT DATE: 10/05/2015

SHEET TITLE:

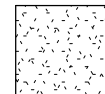
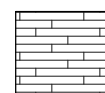
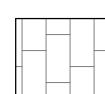
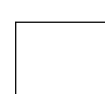
ELECTRICAL PLAN

SHEET NUMBER:

A1.03



FINISH LEGEND

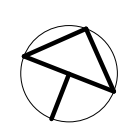
- FLOORING TYPES:
-  CARPET TILE: CP-1
 -  VINYL FLOORING: LV-1
 -  FLOOR TILE: T-1
 -  CONCRETE: CONC-1
- WALL BASE:
- B-1:
 - B-2:
 - B-3:
- PAINT:
- PT-1:
 - PT-2:

FINISH PLAN GENERAL NOTES:

1. PAINT ALL WALLS WF - 1, UNLESS OTHERWISE NOTED.
2. PAINT EXISTING GYPSUM BOARD CEILINGS TO LIKE NEW CONDITIONS, MATCH EXISTING COLOR.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD INSPECTION OF THE SURFACES TO RECEIVE PAINT OR OTHER FINISH TREATMENT AND FOR DETERMINING THAT SUCH SURFACES ARE ACCEPTABLE FOR FINISH APPLICATION PRIOR TO INITIATING ACTUAL FINISH WORK. NO PAINT FINISH SHALL BE APPLIED ON ANY SURFACE WHICH IS UNFINISHED, IMPROPERLY PREPARED OR OTHERWISE NOT FULLY ACCEPTABLE FOR THE FINISH APPLICATION. ALL ROUGHNESS OR OTHER IRREGULARITIES THAT MAY APPEAR AFTER PRIMING SHALL BE THOROUGHLY FILED OR SANDED OUT OR OTHERWISE CORRECTED TO PROVIDE A SMOOTH, EVEN SURFACE FOR PAINTING AND FINISHING. FINISHED APPLICATION AND WALL APPEARANCE SHALL BE FREE OF SURFACE AND COLOR IRREGULARITIES.
4. ALL DRYWALL FINISHES SHALL BE SMOOTH, UNLESS OTHERWISE NOTED.
5. DRYWALL PAINT, UNLESS OTHERWISE NOTED, SHALL BE ACRYLIC LATEX, FINISH NOT SUSCEPTIBLE TO BURNISHING UNDER NORMAL OFFICE AND COMMERCIAL WEAR.
6. ALL PAINT FINISH ON METAL PARTS OF FRAMES, DOORS, PERIMETER ENCLOSURES, ETC. AND ALL PAINTED MILLWORK SHALL BE SEMI-GLOSS ENAMEL, UNLESS OTHERWISE NOTED. ALL DOORS SHALL BE THE SAME FINISH ON BOTH SIDES, UNLESS OTHERWISE NOTED.
7. FLASH-PATCH AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO FLOORING INSTALLATION.
8. REFER TO INT. ELEV. FOR ADDL FINISH INFO.
9. ALL PAINTED DOORS AND FRAMES TO MATCH ADJACENT WALL COLOR U.N.O.



1 FINISH PLAN
1/8" = 1'-0"



NOTES

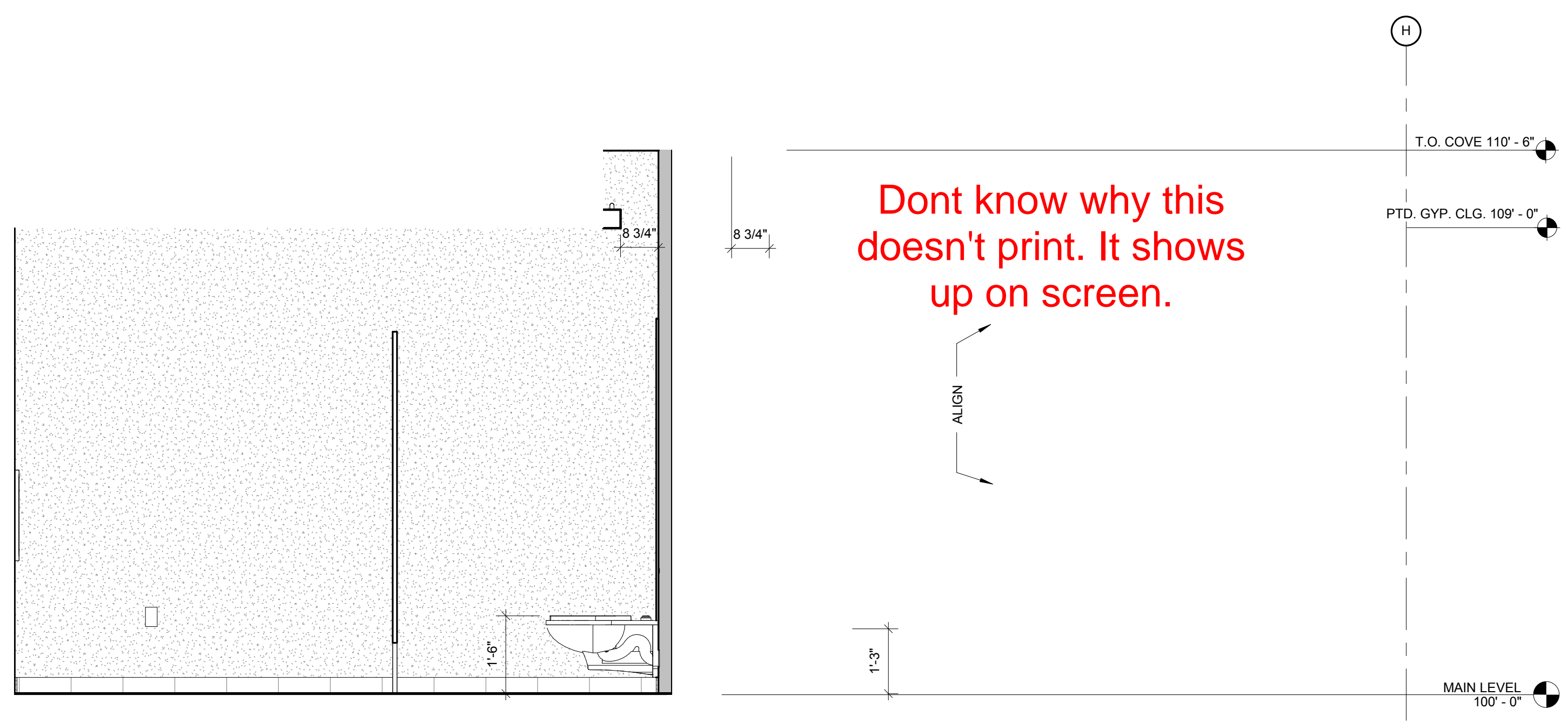
1	HIGH LOW DRINKING FOUNTAIN WITH BOTTLE FILLER.
3	ADA ACCESSIBLE STALL.
4	AMBULATORY ACCESSIBLE STALL.
10	QUARTZ SURFACE VANITY TOP, RE: ENLARGED PLANS ELEVATIONS AND DETAILS.
11	TROUGH SINK SERVICING (2) FAUCETS, RE: ENLARGED PLANS ELEVATIONS AND DETAILS.
16	FLOOR-MOUNTED PAINTED STEEL PARTITION SYSTEM.

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STAPLETON MCA TENANT FINISH
 The Shops at Conservatory Green
 8371 Northfield Boulevard
 Denver, CO

REVISION	DATE
ENGINEERING	01/29/2016
PROGRESS	02/05/16

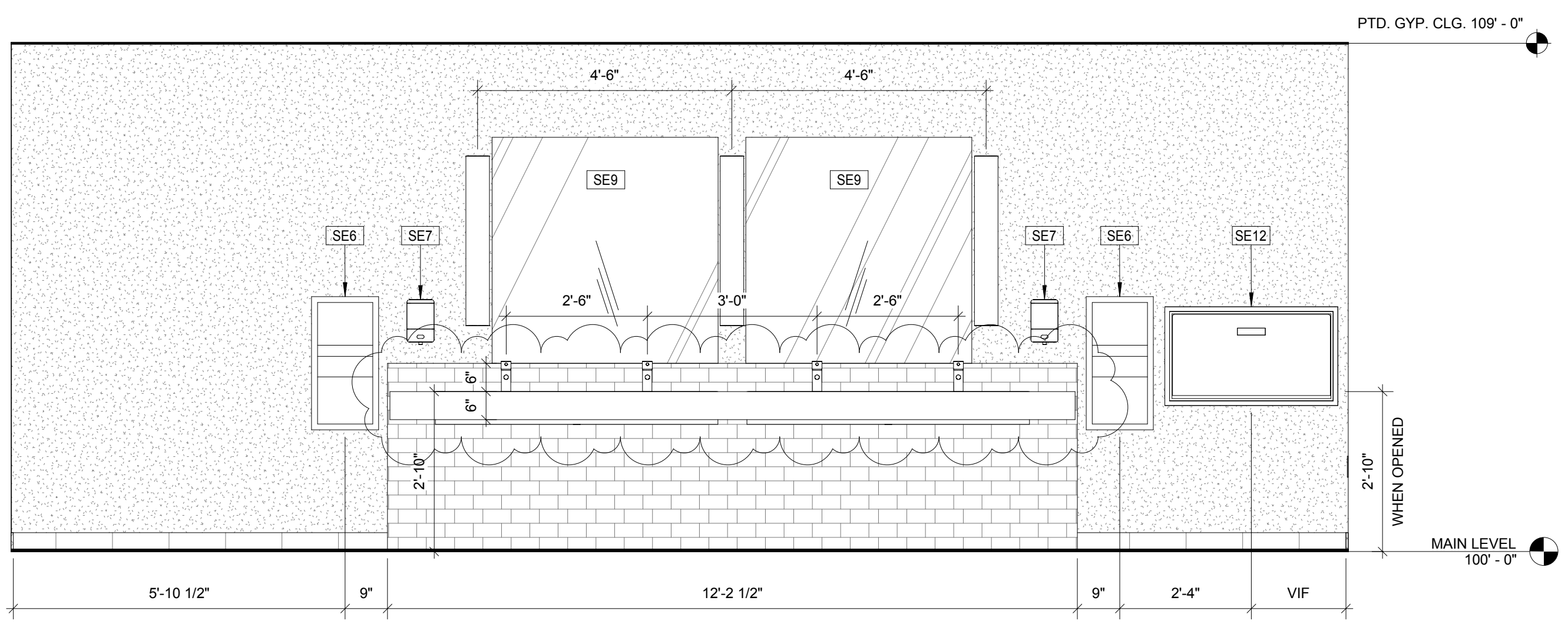
PROJECT NUMBER:	153900
PROJECT DATE:	10/05/2015
SHEET TITLE:	ENLARGED RESTROOM PLANS AND ELEVATIONS
SHEET NUMBER:	A2.01



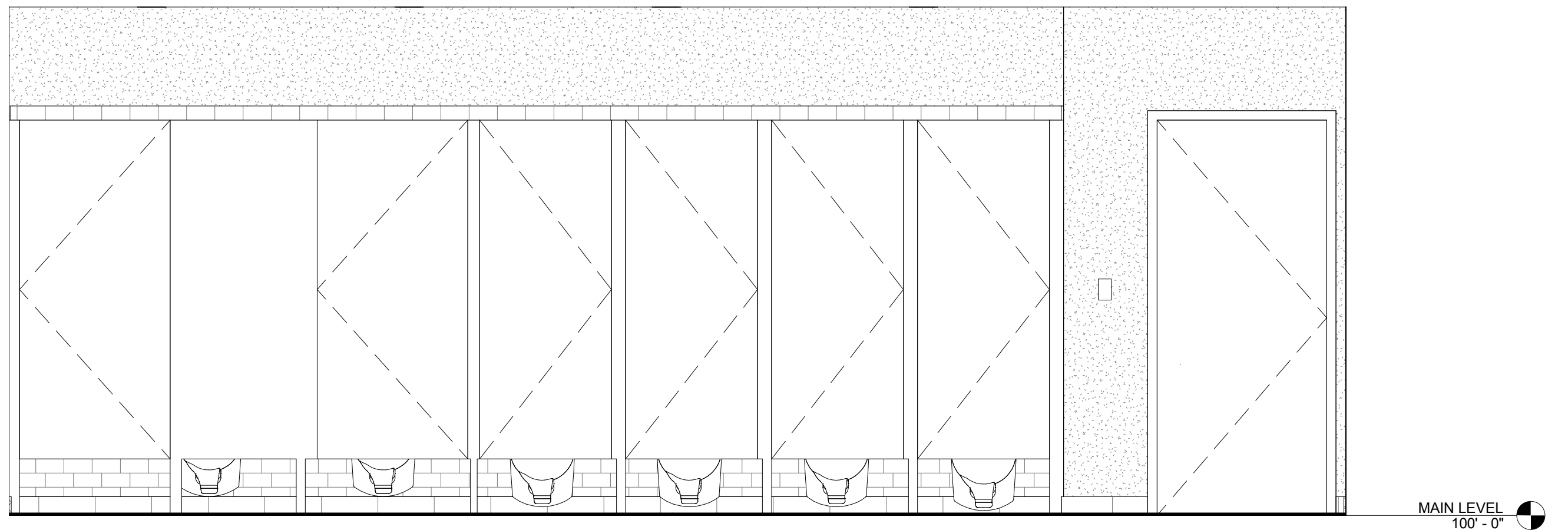
Dont know why this doesn't print. It shows up on screen.

6 WOMEN'S SOUTH WALL (MEN'S SIM.)
 1/2" = 1'-0"

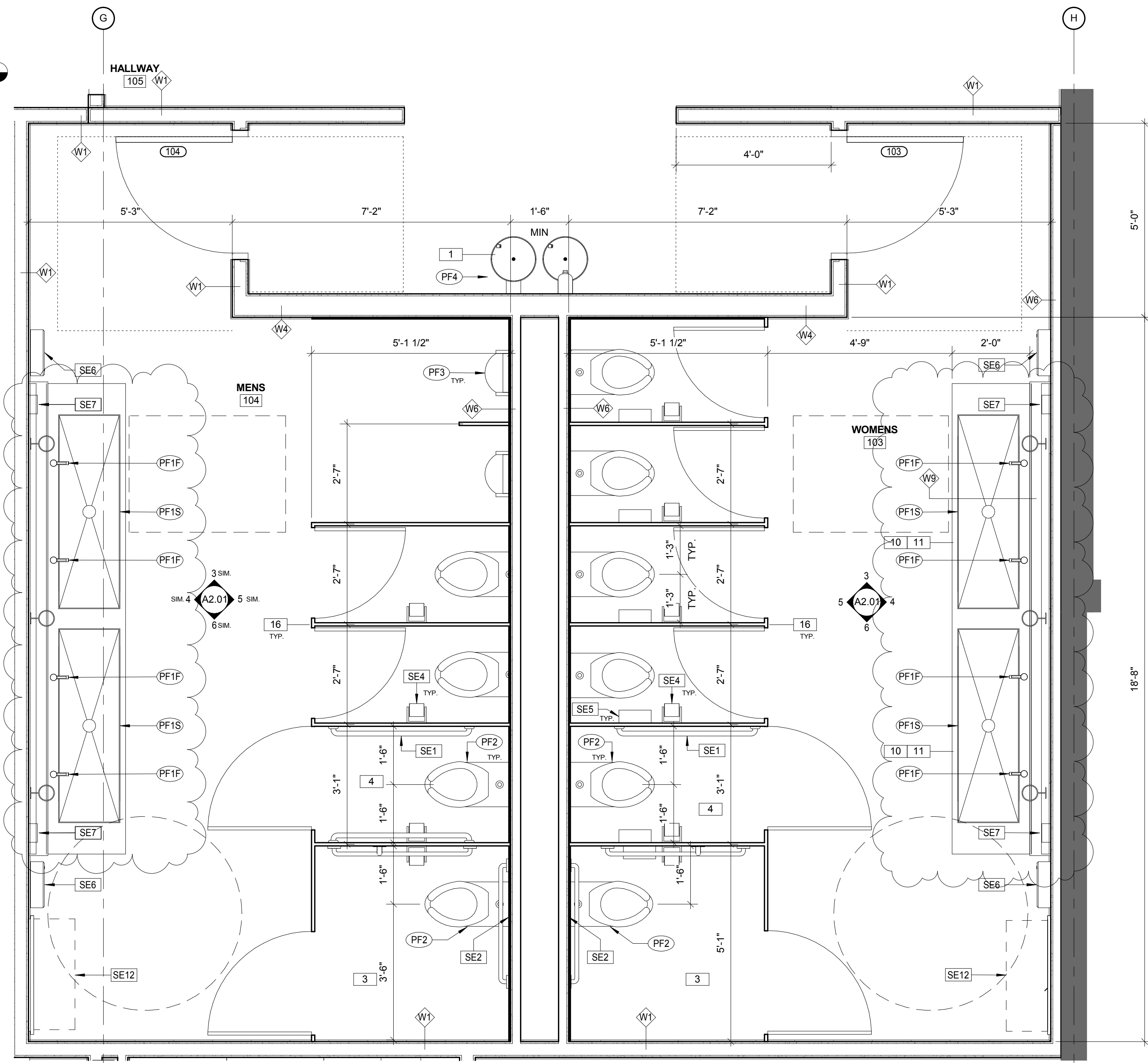
3 WOMEN'S NORTH WALL (MEN'S SIM.)
 1/2" = 1'-0"



4 WOMEN'S EAST WALL (MEN'S SIM.)
 1/2" = 1'-0"



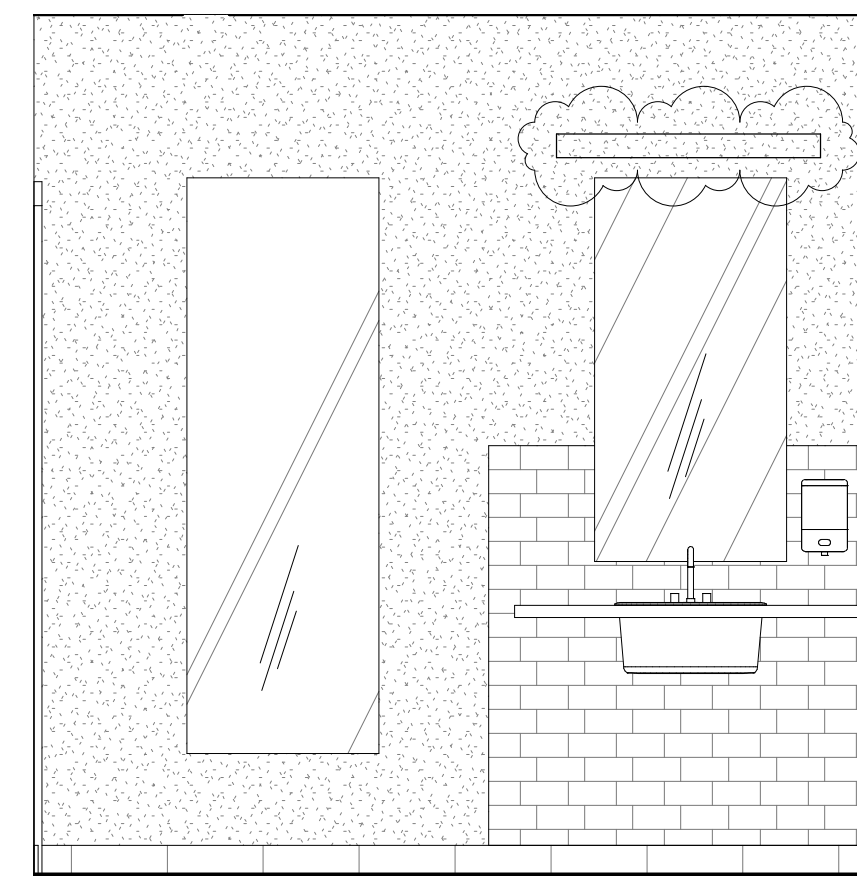
5 WOMEN'S WEST WALL (MEN'S SIM.)
 1/2" = 1'-0"



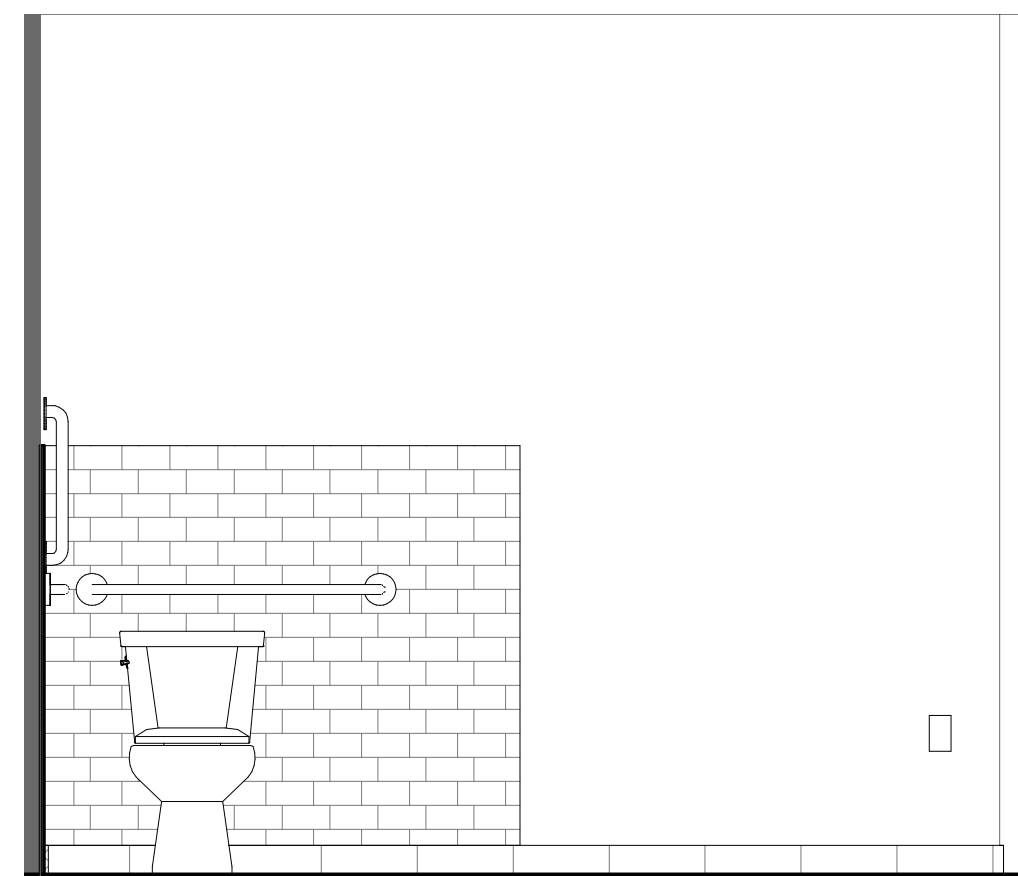
1 ENLARGED PLAN - RESTROOMS
 1/2" = 1'-0"

NOTES

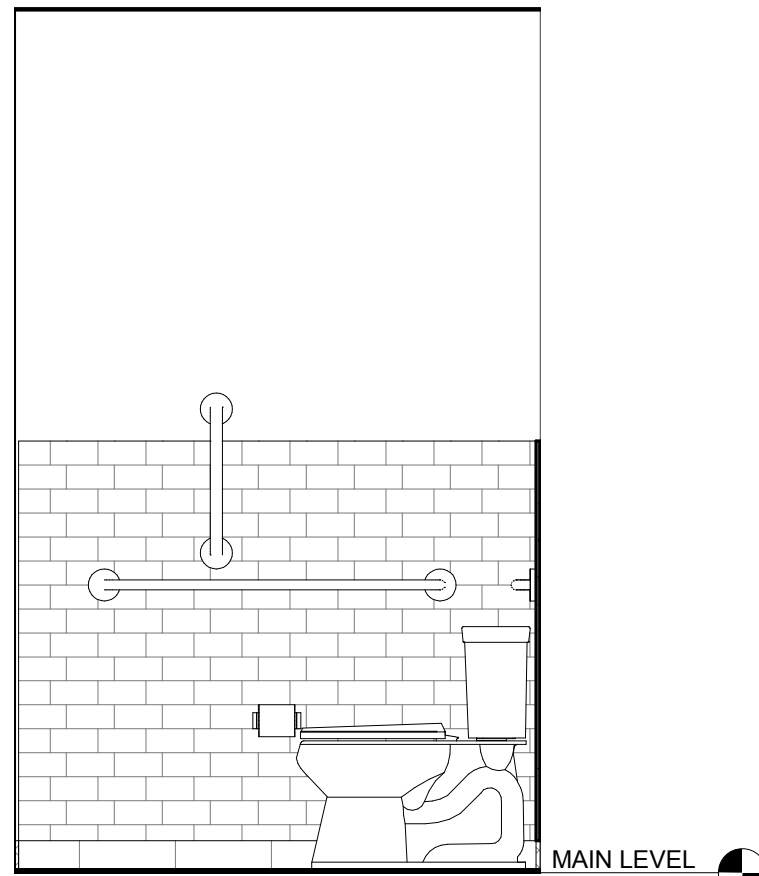
10 QUARTZ SURFACE VANITY TOP, RE: ENLARGED PLANS ELEVATIONS AND DETAILS.



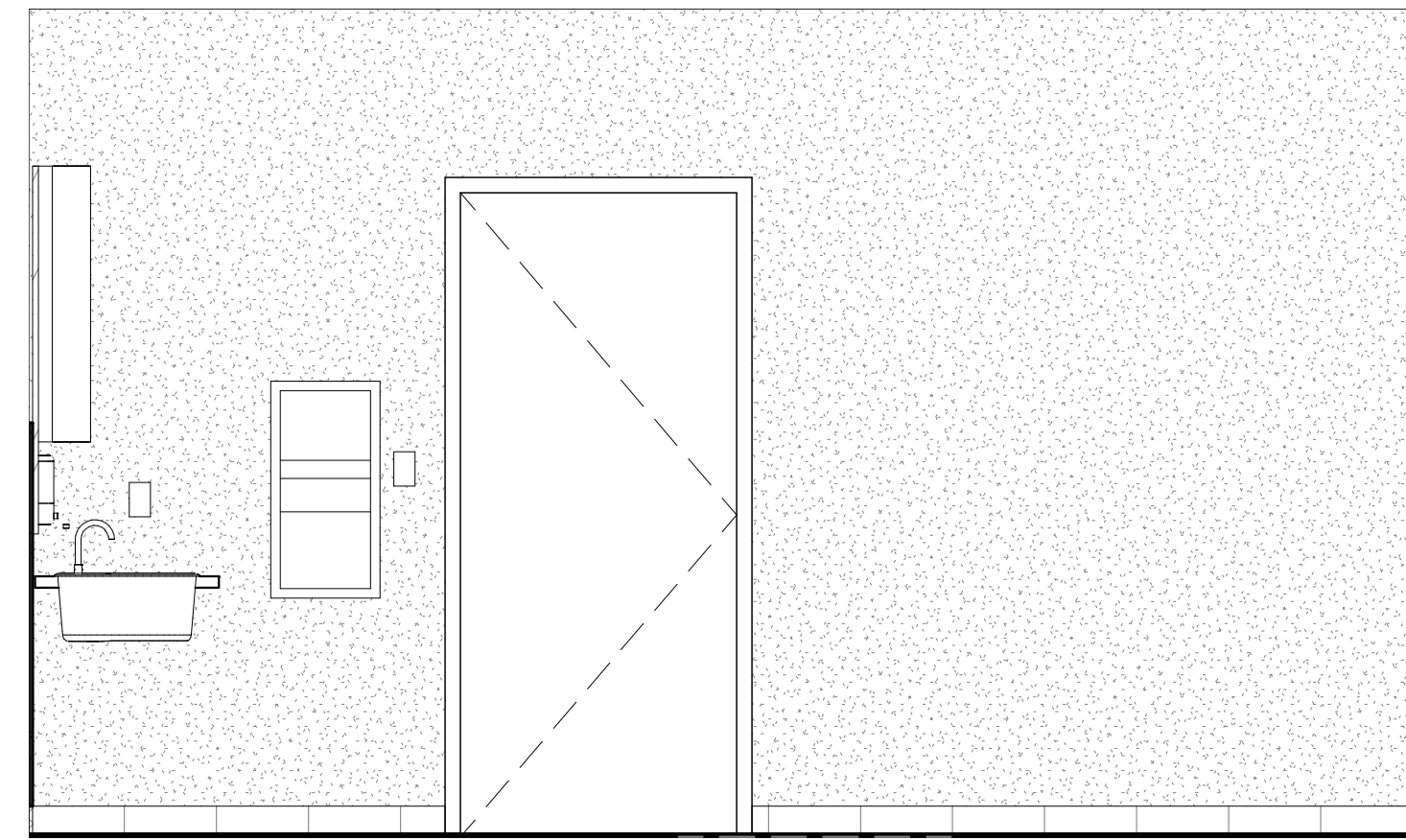
3 UNISEX RESTROOM WEST WALL
1/2" = 1'-0"



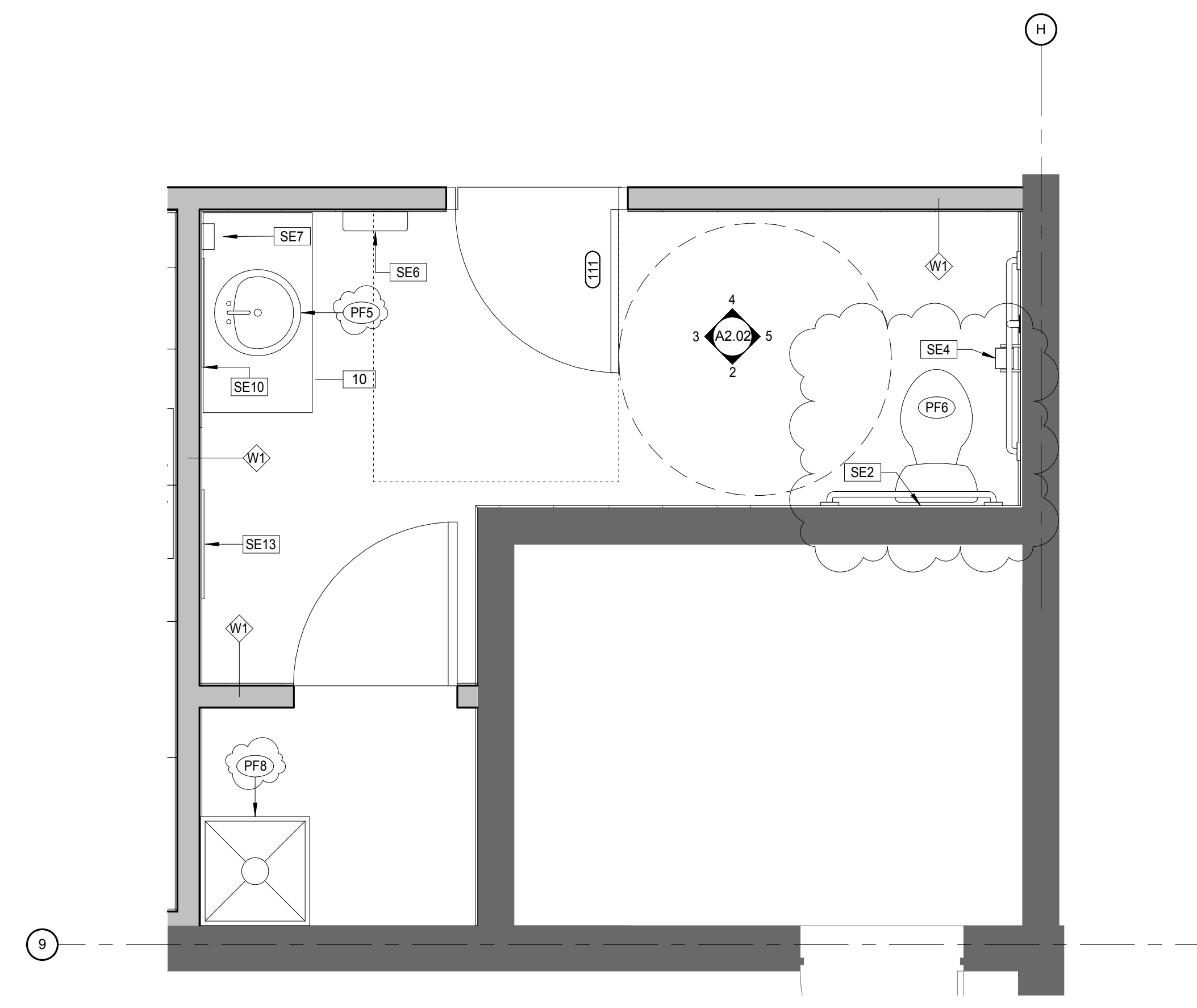
2 SOUTH WALL - UNISEX RESTROOM
1/2" = 1'-0"



5 UNISEX RESTROOM EAST WALL
1/2" = 1'-0"



4 UNISEX RESTROOM NORTH WALL
1/2" = 1'-0"



1 ENLARGED PLAN - UNISEX RESTROOM
1/2" = 1'-0"

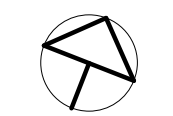
REVISION	ENGINEERING	DATE
A	PROGRESS	01/29/2016 02/05/16

PROJECT NUMBER: 153900
PROJECT DATE: 10/05/2015

SHEET TITLE:
ENLARGED BACK-OF-HOUSE
PLANS AND ELEVATIONS

SHEET NUMBER:

A2.02



NOTES

- 6 WORK SURFACE W/ 2" DIA. GROMMETS FOR POWER/DATA CONNECTION. RE: ELEVATIONS AND DETAILS.
- 7 WOOD VENEER RECEPTION DESK WITH QUARTZ SURFACE TRANSATION TOP. RE: ENLARGED PLANS ELEVATIONS AND DETAILS.
- 18 P-LAM BASE CABINETS AND COUNTERTOP. RE: ELEVATIONS AND DETAILS.
- 19 P-LAM UPPER CABINETS. RE: ELEVATIONS AND DETAILS.
- 27 MOTORIZED ROLL-DOWN SECURITY GRILL MOUNTED ABOVE CEILING. RE: STRUCT FOR JAMB SUPPORTS.

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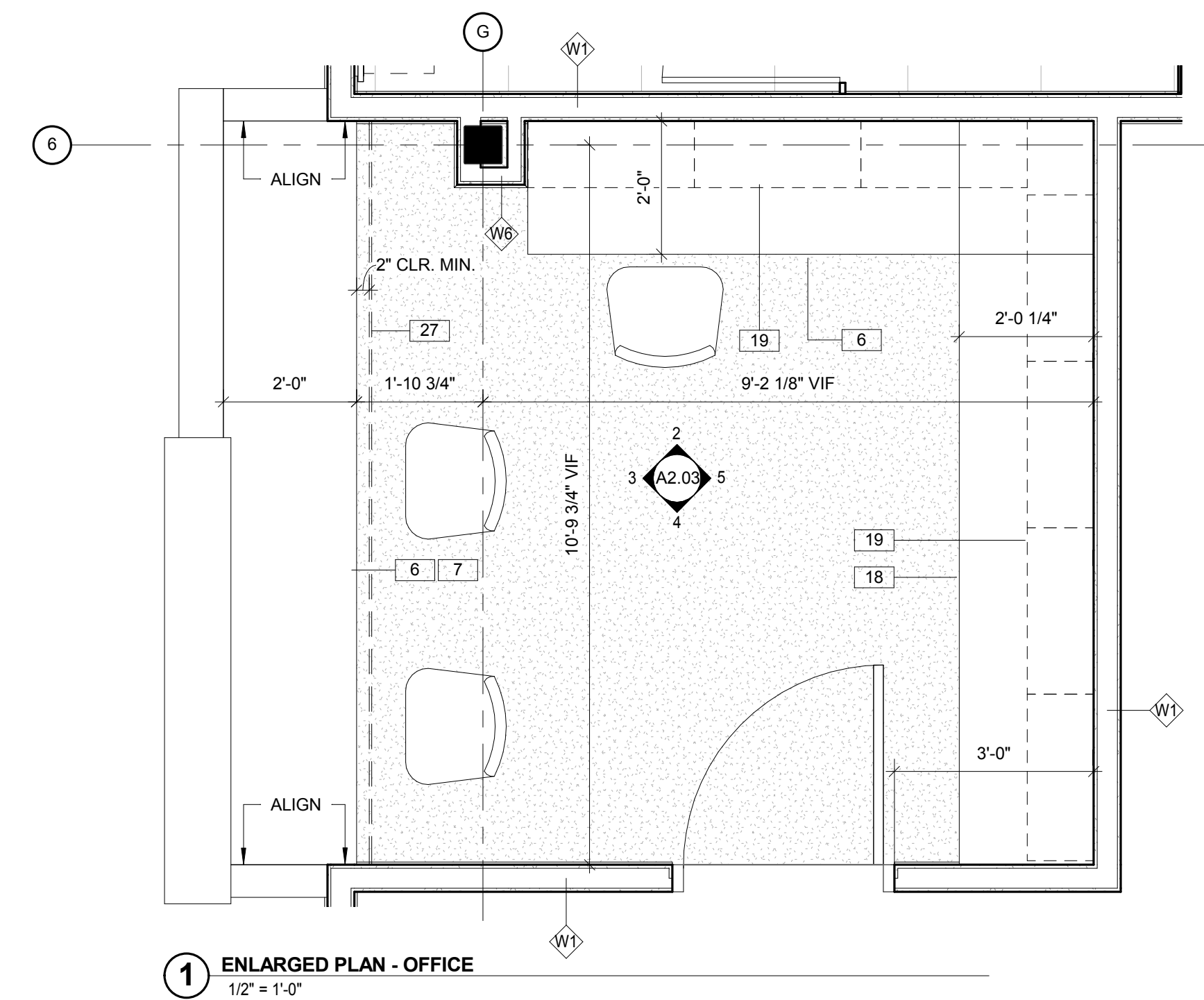
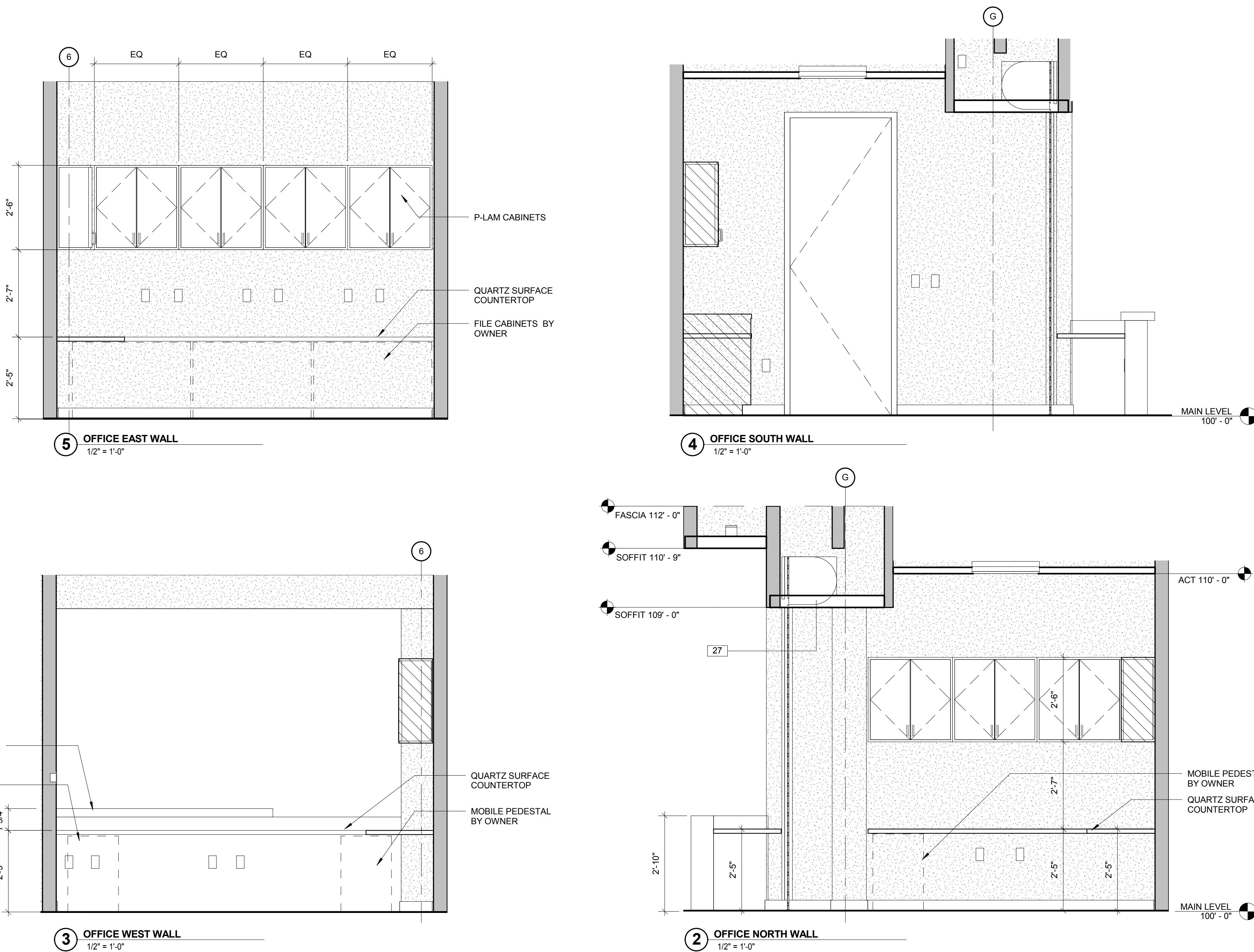
The Shops at Conservatory Green
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REVISION	DATE
ENGINEERING	01/29/2016

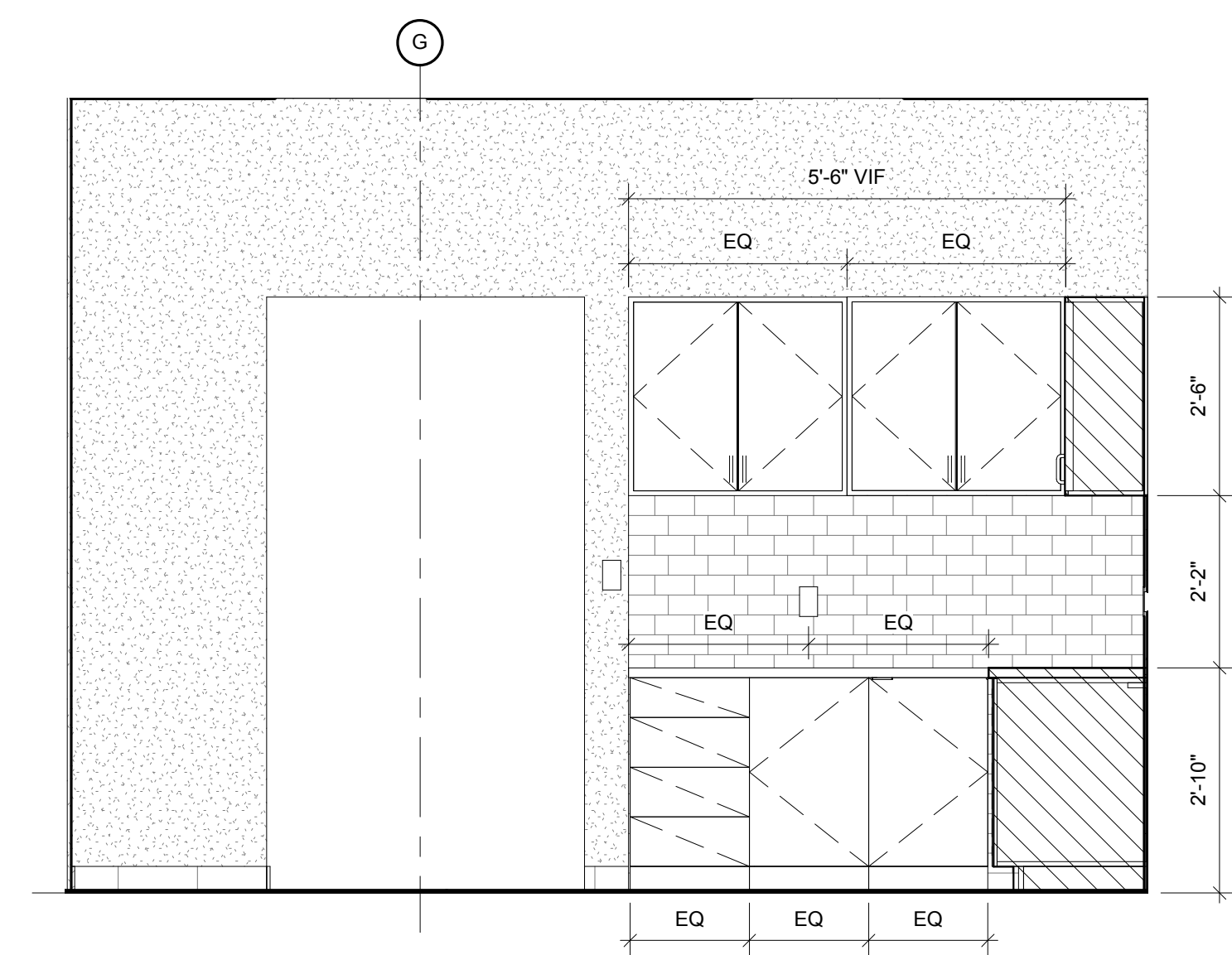
PROJECT NUMBER: 153900
PROJECT DATE: 10/05/2015

SHEET TITLE:
ENLARGED OFFICE PLANS
AND ELEVATIONS

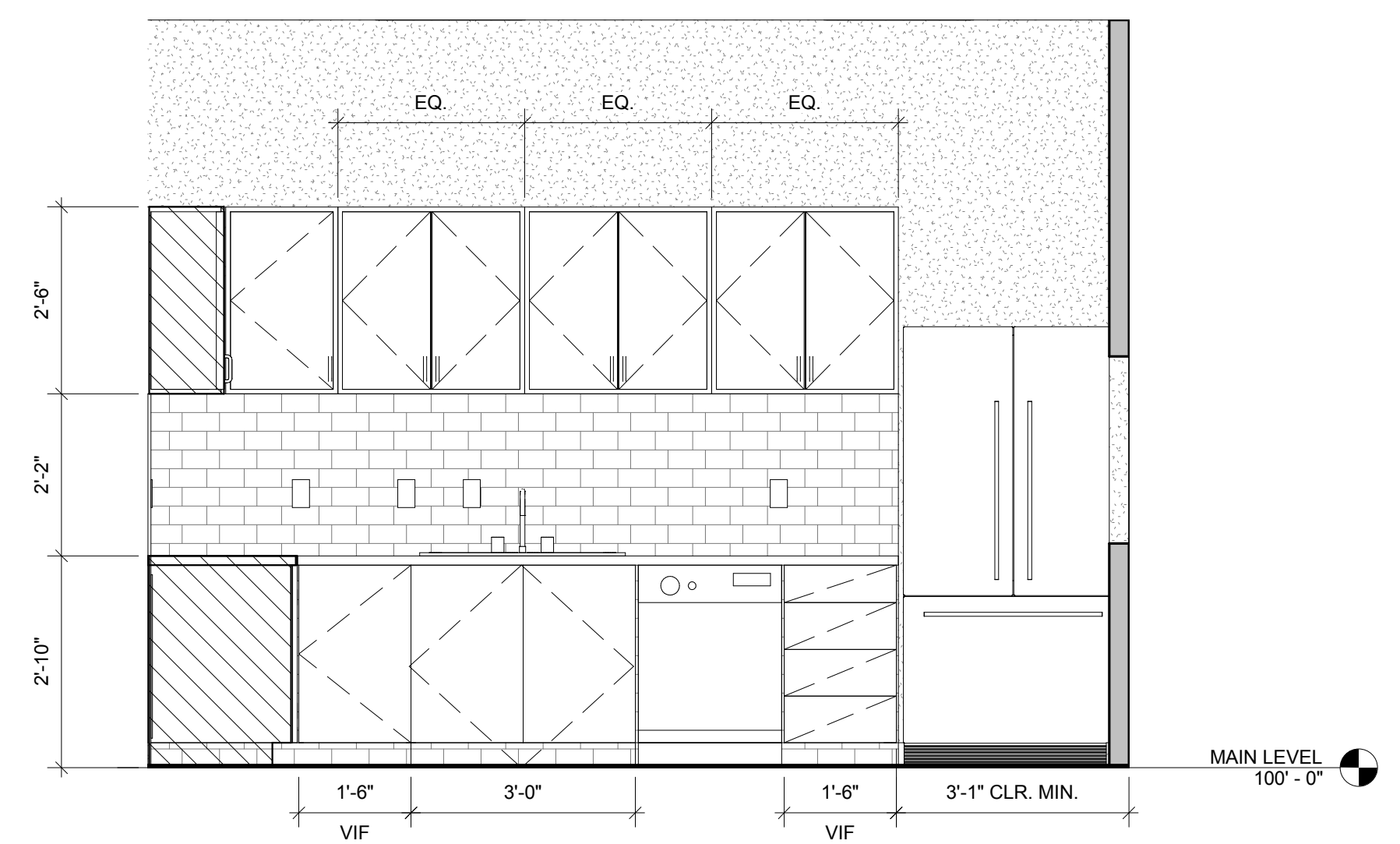
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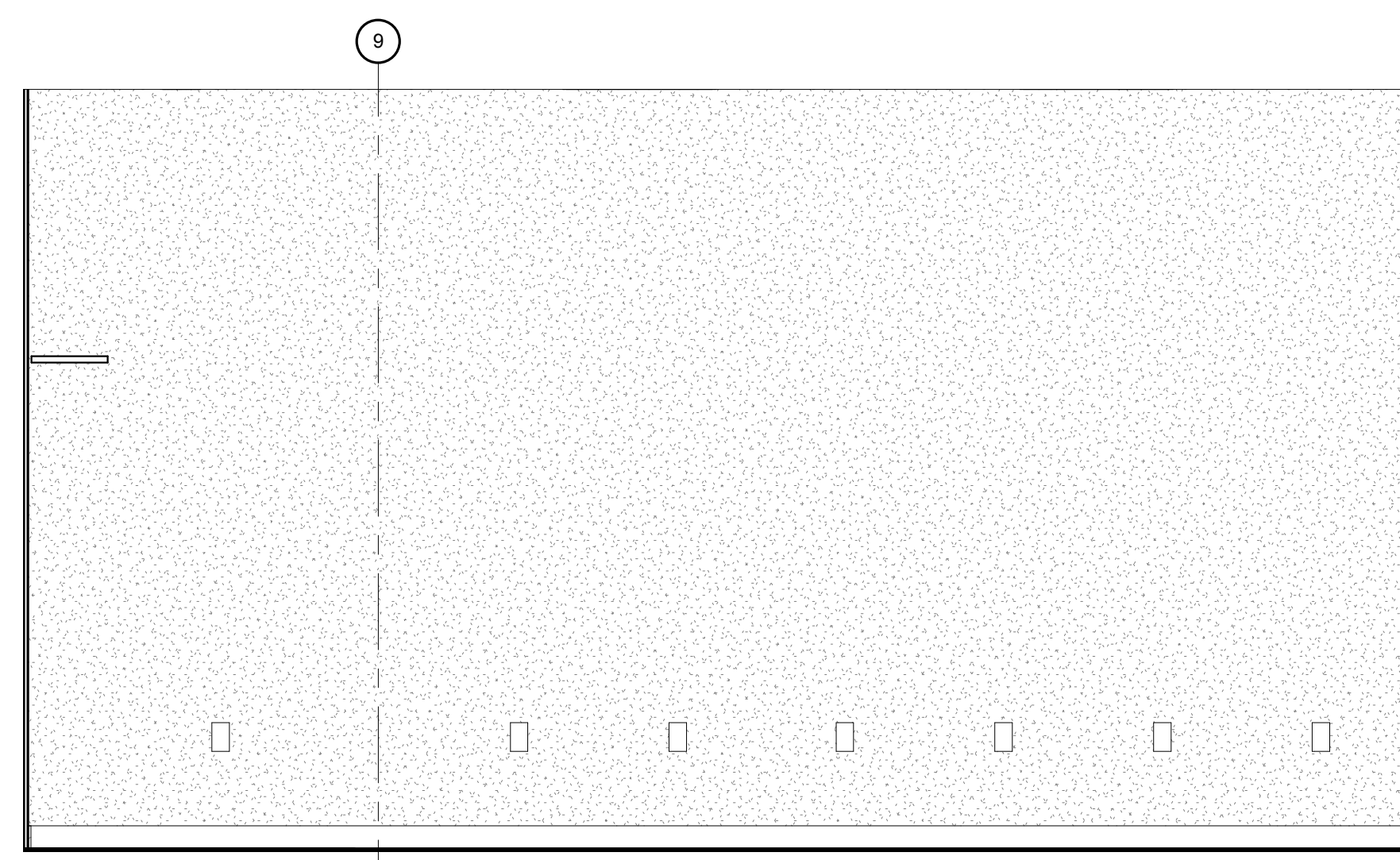
- NOTES**
- 9 CATERING KITCHEN EQUIPMENT BY OTHERS.
 - 18 P-LAM BASE CABINETS AND COUNTERTOP. RE: ELEVATIONS AND DETAILS.
 - 19 P-LAM UPPER CABINETS. RE: ELEVATIONS AND DETAILS.
 - 26 PROVIDE WATER CONNECTION FOR OWNER-PROVIDED COFFEE MAKER.
 - 29 PROVIDE WATER CONNECTION FOR OWNER-PROVIDED REFRIGERATOR.
 - E4 TELCO SERVICE ENTRY POINT. PROVIDE FIRE RETARDANT PLYWOOD BACK BOARD OWNER-PROVIDED TELCO EQUIPMENT.
 - E10 ELEC. PANEL AND CLEARANCES TO REMAIN.
 - E11 ADD-ALTERNATE: NEW 200 AMP SERVICE AND PANEL.
 - E12 PROVIDE J-BOX ABOVE CEILING FOR OWNER-PROVIDED PROJECTOR.



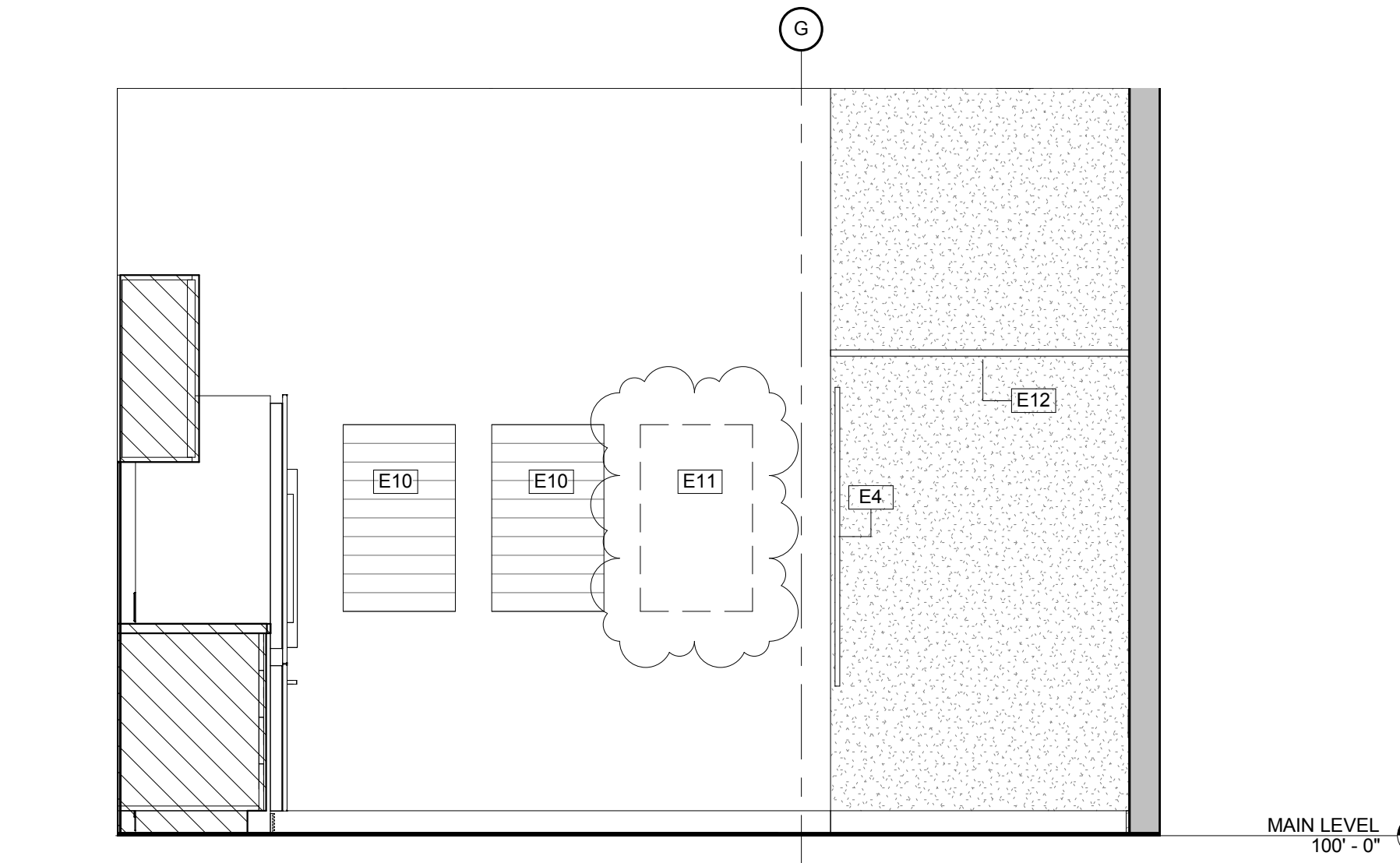
3 BREAK ROOM NORTH WALL
 1/2" = 1'-0"



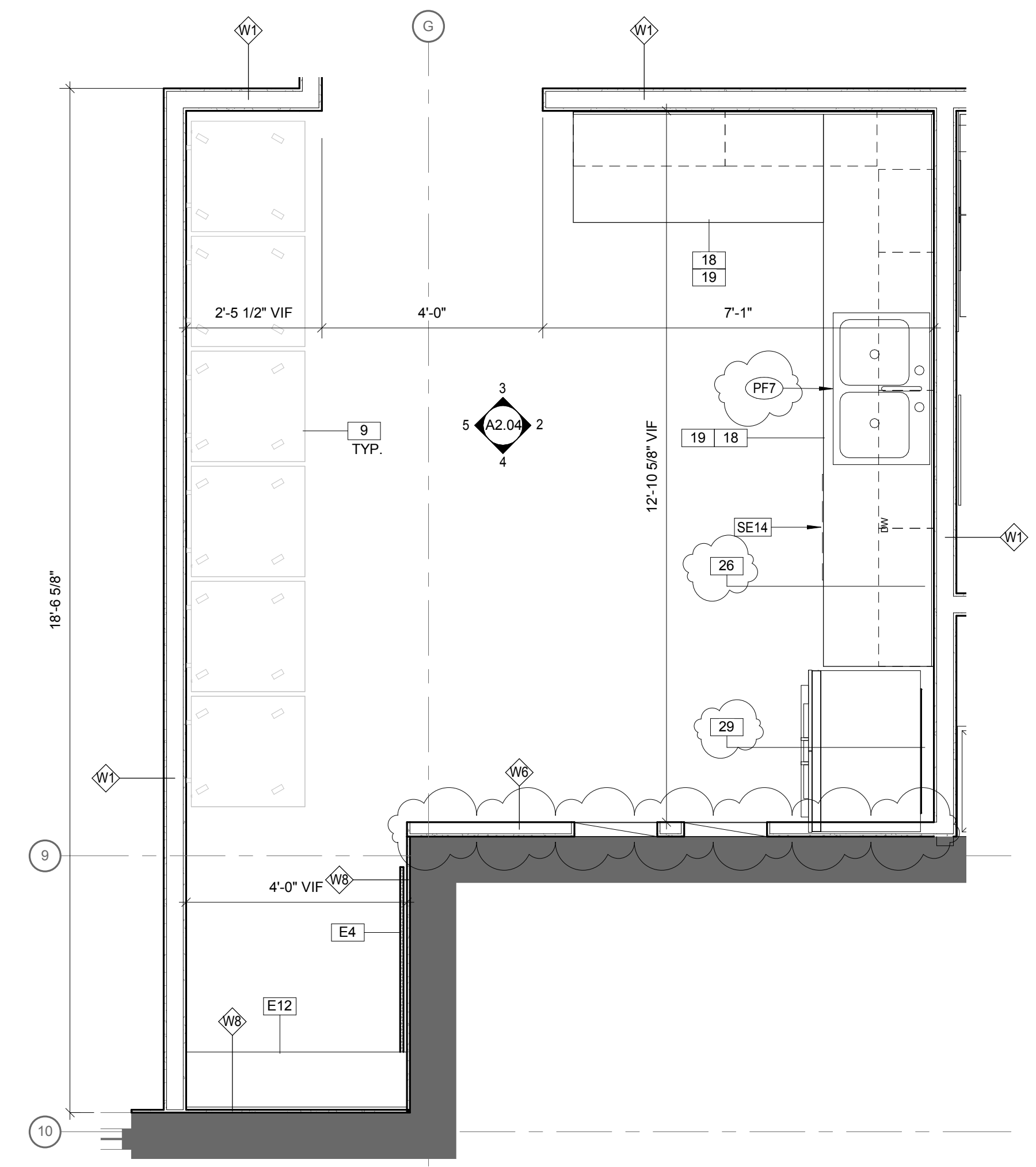
2 BREAK ROOM EAST WALL
 1/2" = 1'-0"



5 BREAK ROOM WEST WALL
 1/2" = 1'-0"



4 BREAK ROOM SOUTH WALL
 1/2" = 1'-0"



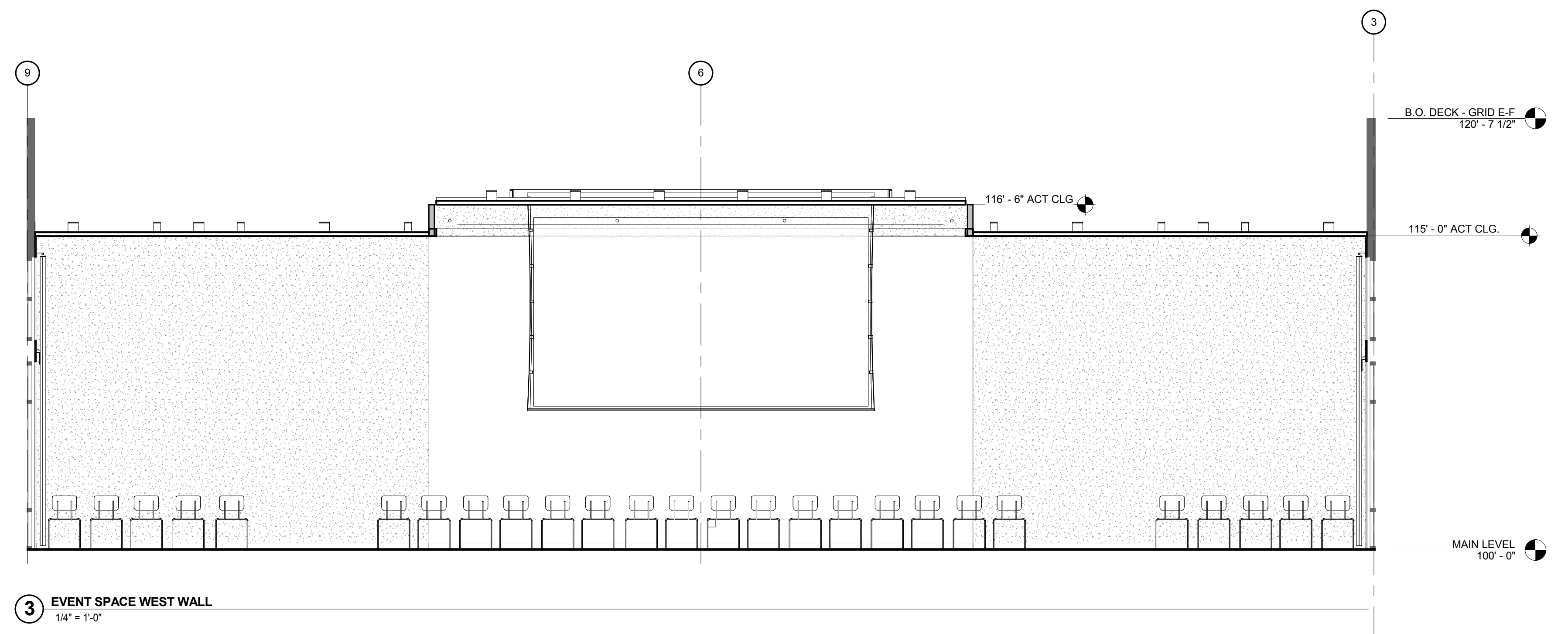
1 ENLARGED PLAN - BREAK ROOM
 1/2" = 1'-0"

REVISION NUMBER	DATE
A	02/05/16
	01/29/2016

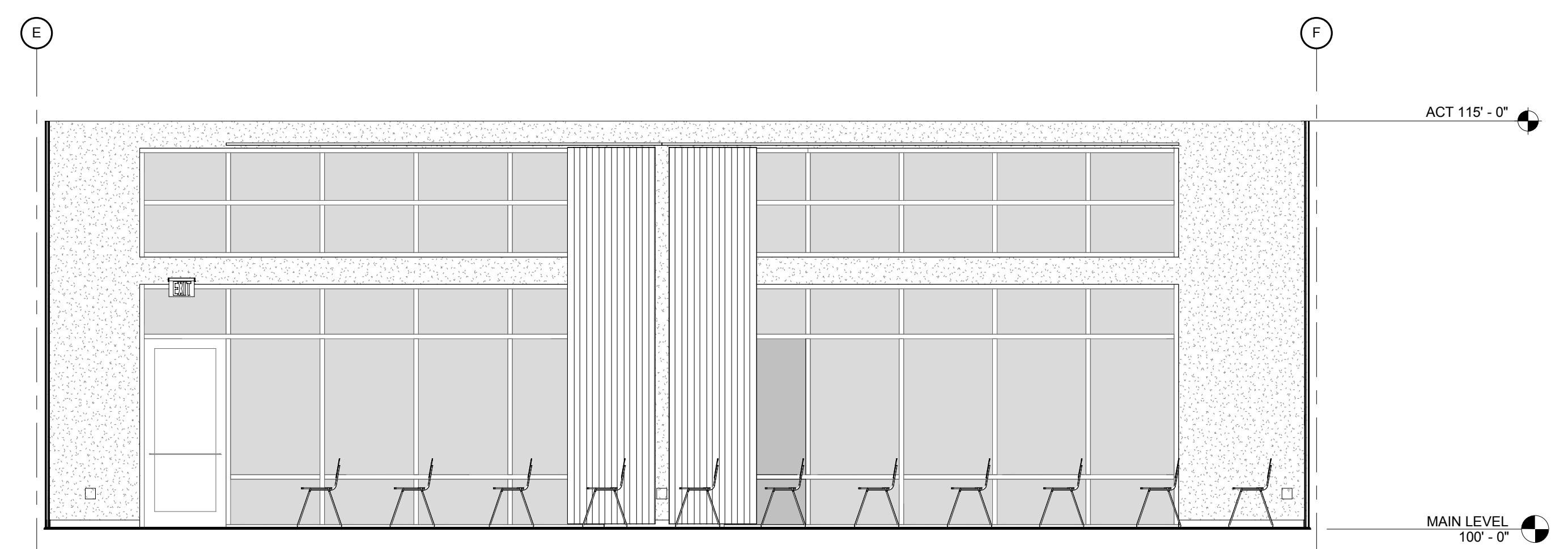
PROJECT NUMBER: 153900
 PROJECT DATE: 10/05/2015

SHEET TITLE:
 ENLARGED BREAK ROOM
 PLANS AND ELEVATIONS

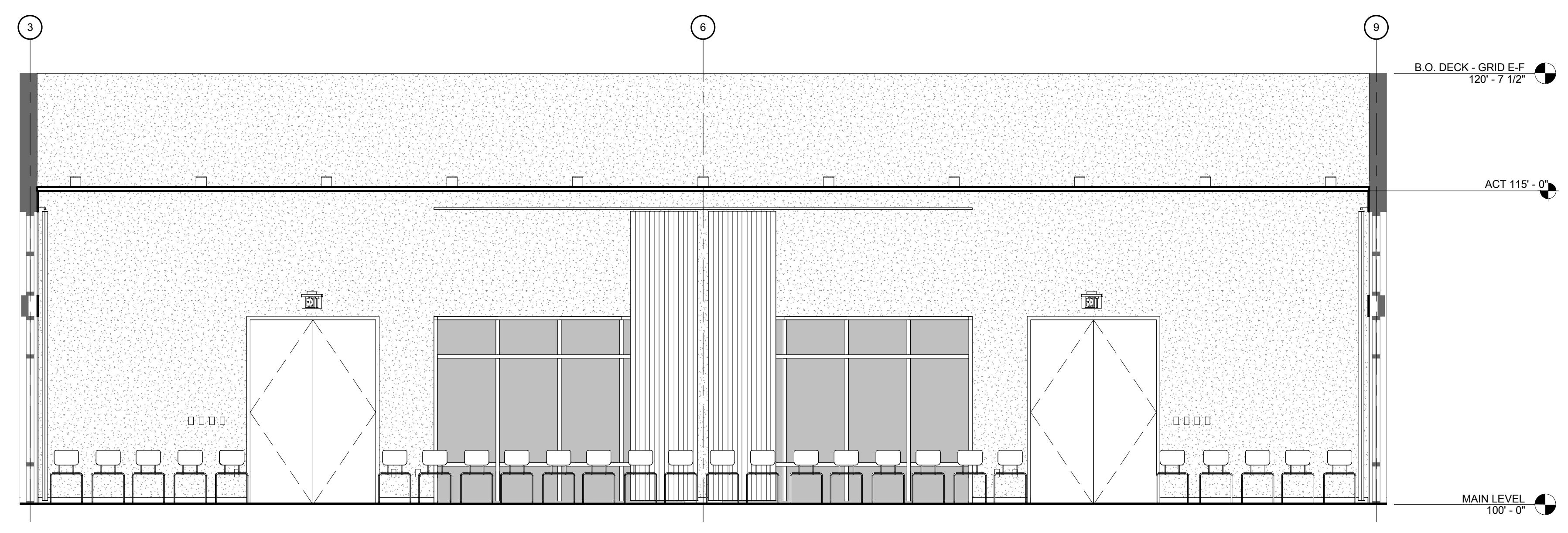
SHEET NUMBER:



3 EVENT SPACE WEST WALL
1/4" = 1'-0"



2 EVENT SPACE NORTH WALL (SOUTH WALL SIM., OPP.)
1/4" = 1'-0"



1 EVENT SPACE EAST WALL
1/4" = 1'-0"

REVISION	ENGINEERING	DATE
A	PROGRESS	01/29/2016 02/05/16

PROJECT NUMBER: 153900
PROJECT DATE: 10/05/2015

SHEET TITLE: INTERIOR ELEVATIONS

SHEET NUMBER:

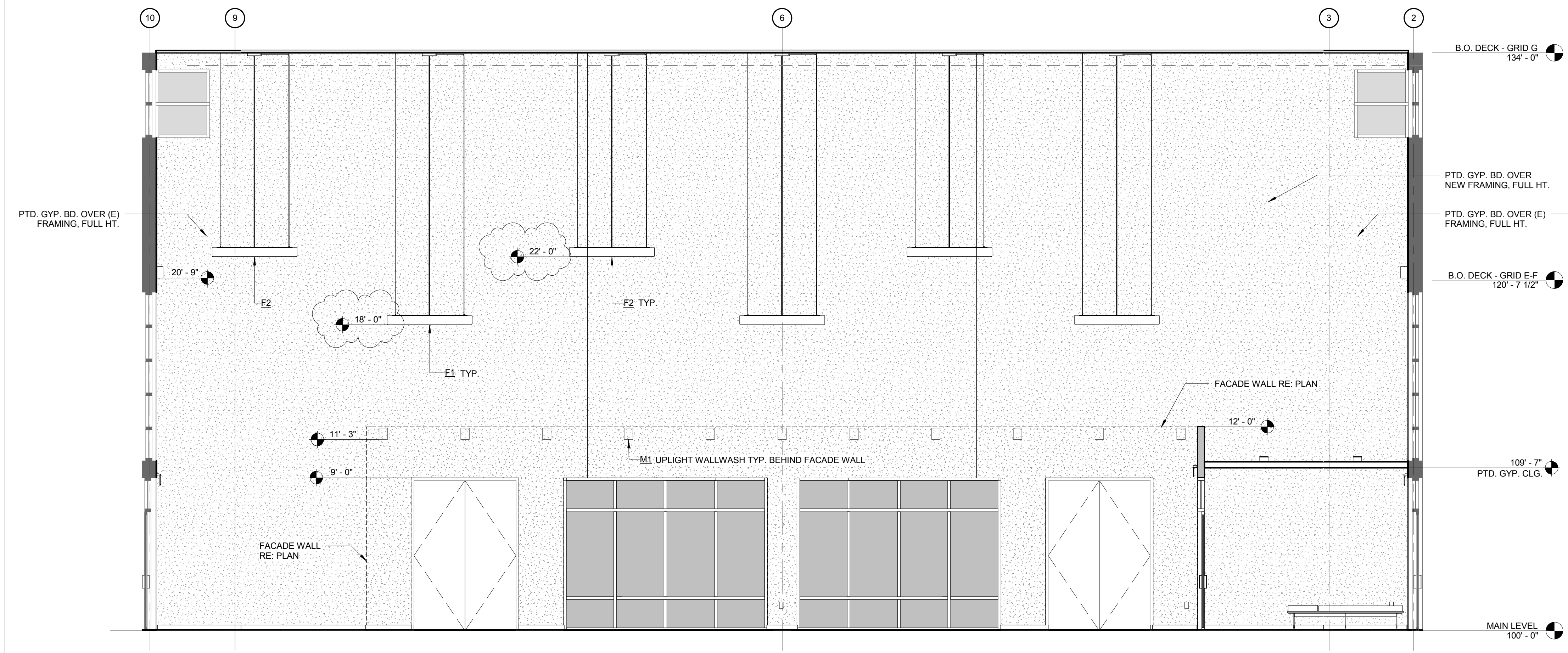
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REVISION	ENGINEERING	DATE
A	PROGRESS	01/29/2016 02/05/16

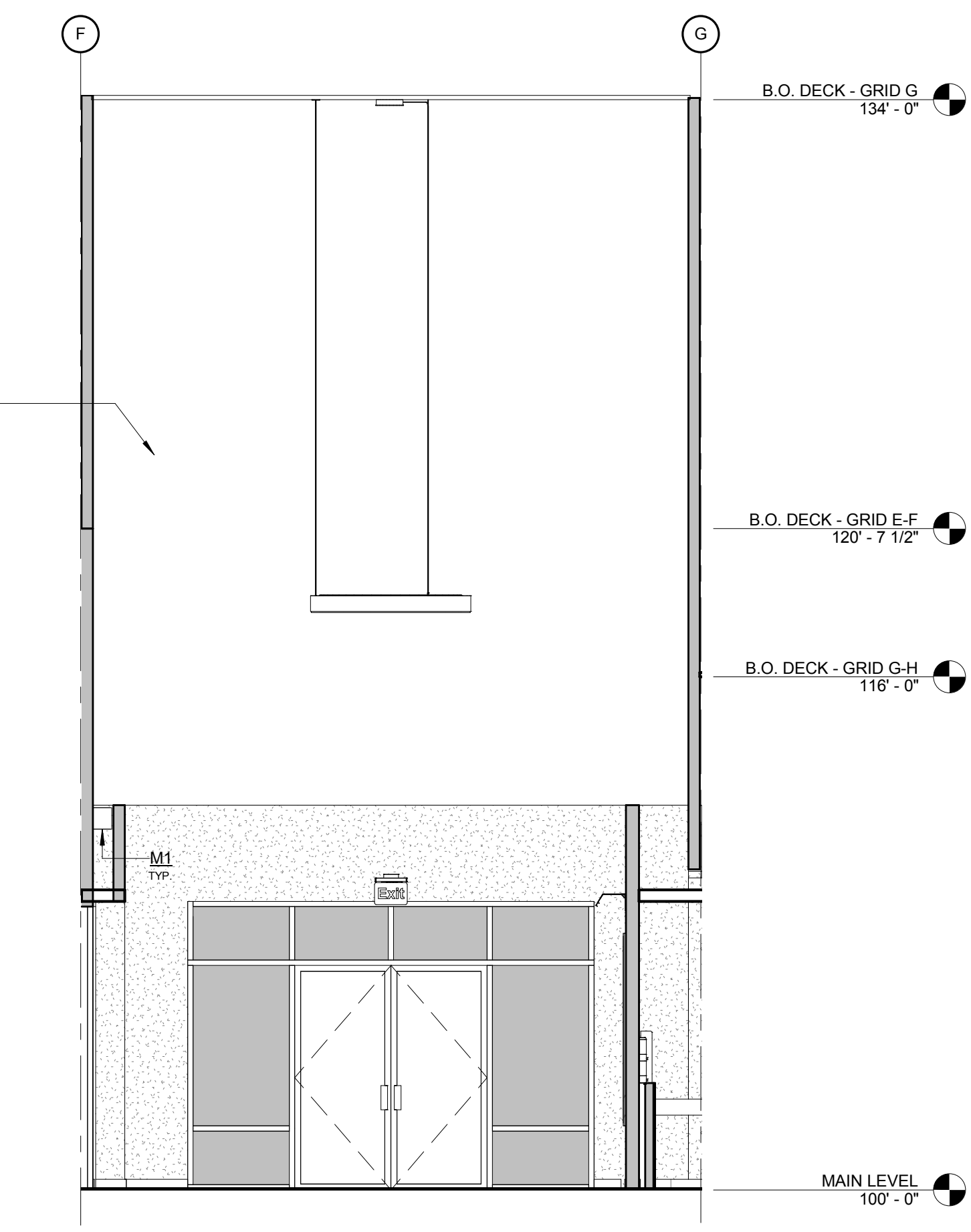
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PROJECT DATE: 10/05/2015

SHEET TITLE: INTERIOR ELEVATIONS

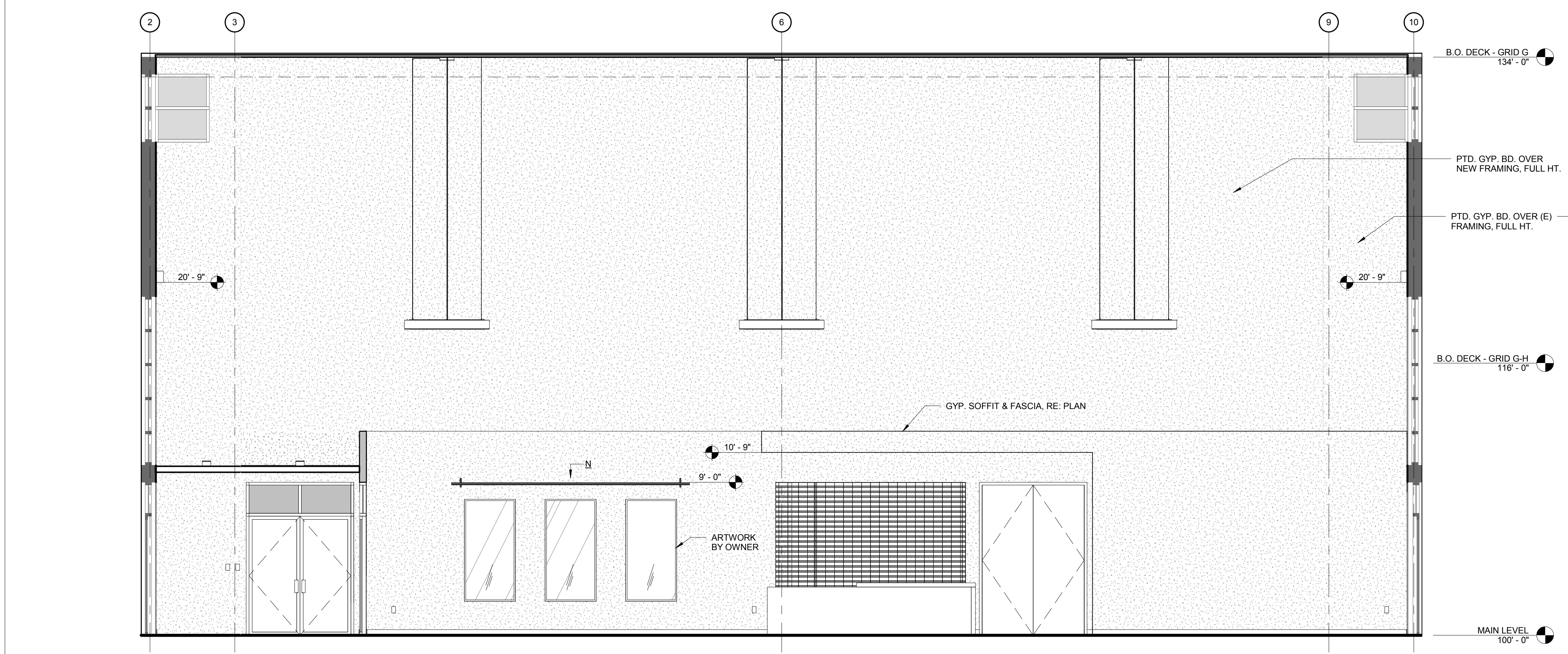
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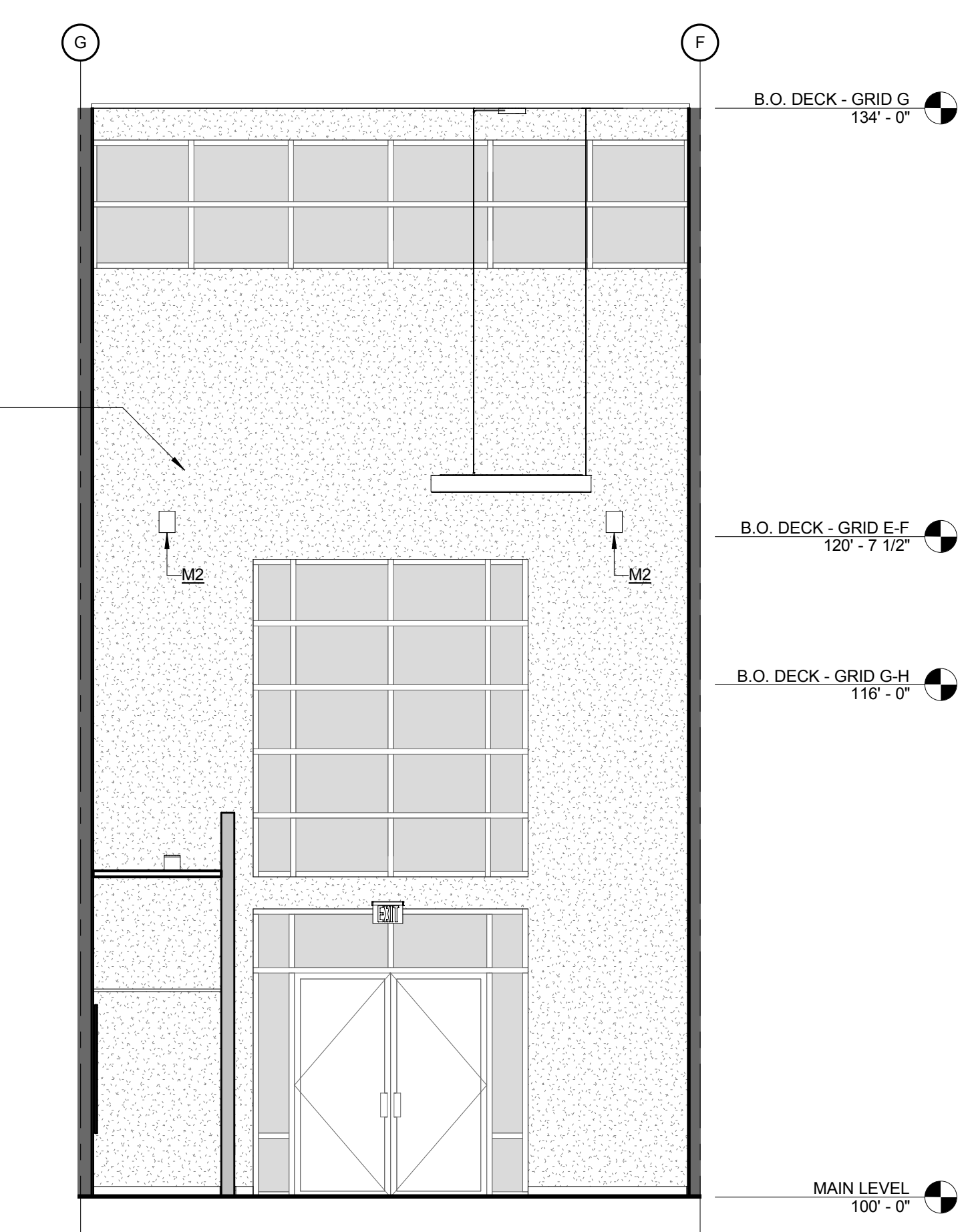
4 PRE-FUNCTION WEST WALL
1/4" = 1'-0"



3 PRE-FUNCTION NORTH WALL
1/4" = 1'-0"



1 PRE-FUNCTION EAST WALL
1/4" = 1'-0"



2 PRE-FUNCTION SOUTH WALL
1/4" = 1'-0"